

John [unclear]

LAW OFFICES

CICATELLI & CICATELLI

266 MAIN STREET
STONEHAM, MASSACHUSETTS 02180-3502
AREA CODE 781 438-4060
TELECOPIER 781 438-9674

December 17, 2014

Stoneham Planning Board
Stoneham Town Hall
35 Central Street
Stoneham, Massachusetts 02180

RECEIVED
DEC 17 2014
CONSERVATION COMMISSION

Attn: Catherine Rooney

RE: 170 Franklin Street
Stoneham, MA
My file #13106-S

Dear Mr. Chairman and Members:

Enclosed please find the following documents to be filed in connection with the above-referenced property:

- Notice of Intent (3 copies);
- Storm Runoff Analysis and Operation and Maintenance Plan (3 copies);
- Full Set of Plans for The Commons at Weiss Farms;
- 11 x 17 sets of plans (8 copies); and
- Check to the Conservation Commission in the amount of \$1,587.50.

If you should have any questions or need any further documentation, please do not hesitate to call me.

Very truly yours,


Rachel C. Cummings, Esq.

Enclosures
SLC/abm
BY HAND DELIVERY

View Road Suite 205 Braintree, MA 02184

Oran MA

DATE:12/03/2014 CK#:1138 TOTAL:\$1,587.50*** BANK:Weiss Farm(091)
PAYEE:TOWN OF STONEHAM(towsto)

Property Address - Code	Invoice - Date	Description	Amount
Weiss Farm - 091	MA.WETLANDS FEE - 12/03/14		1,587.50
			<hr/> 1,587.50

Weiss Farm Apartments LLC

C/O Corcoran Management Co Inc
100 Grandview Road
Braintree, MA 02184
(781) 849-0011

BNY Mellon Bank

5-123
110

NO:1138

VOID AFTER 90 DAYS

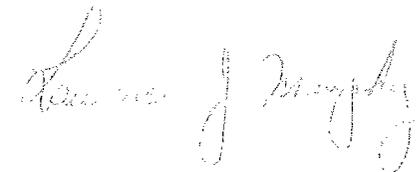
**** ONE THOUSAND FIVE HUNDRED EIGHTY SEVEN AND 50/100 DOLLARS

TO THE
ORDER OF

12/03/2014

\$1,587.50***

TOWN OF STONEHAM
CONSERVATION COMMISSION
35 CENTRAL ST
STONEHAM, MA 02180



⑈001138⑈ ⑆011001234⑆ ⑈73 933 2⑈

For more details on how to use this form, visit us online at www.bny.com

CONSERVATION COMMISSION NOTICE OF INTENT SUBMISSION THE COMMONS AT WEISS FARM STONEHAM, MASSACHUSETTS JUNE 25, 2014 REV. NOVEMBER 12, 2014

TOWN OF STONEHAM
BOARD OF SELECTMEN
2014 DEC 18 A 10:38

ZONING SUMMARY
ZONING DISTRICT: RESIDENCE A

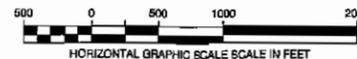
	REQUIRED	PROVIDED
	A	
MINIMUM LOT AREA	10,000 SQ. FT.	1,117,839 SQ. FT.
LOT AREA PER DWELLING	10,000 SQ. FT.	4,233 SQ. FT.
MINIMUM FRONTAGE	90 FT.	249 FT.
MIN. FRONT YARD SETBACK	20 FT.	25 FT.
MIN. SIDE YARD SETBACK	10 FT.	36 FT.
MIN. REAR YARD SETBACK	15 FT.	249 FT.
MAX. BUILDING HEIGHT	30 FT.	62 FT.
MAX. BUILDING COVERAGE	30%	7%

TOTAL PROPOSED NUMBER OF RESIDENTIAL UNITS = 284



LOCUS MAP

SCALE: 1" = 500'±



Reference:
Photo from MassGIS, Commonwealth of Massachusetts
Executive Office of Environmental Affairs
(http://www.mass.gov/mgis). Photo file number is
coq09_30em_mesa017. Photo was taken in April 2009.

INDEX OF DRAWINGS

SHEET No.	SHEET TITLE	DATE
	COVER SHEET	11/12/2014
C-1	EXISTING CONDITIONS	8/20/2014
C-2	SITE LAYOUT AND MATERIALS PLAN	11/12/2014
C-3	SITE GRADING AND DRAINAGE PLAN	11/12/2014
C-4	SITE UTILITY PLAN	11/12/2014
C-5	SITE DETAILS PLAN	11/12/2014
C-6	SITE DETAILS PLAN	11/12/2014
C-7	SITE DETAILS PLAN	11/12/2014
C-8	SITE SIGNAGE PLAN	11/12/2014
C-9	EROSION CONTROL PLAN	11/12/2014
L-1	LANDSCAPE PLAN	6/20/2014

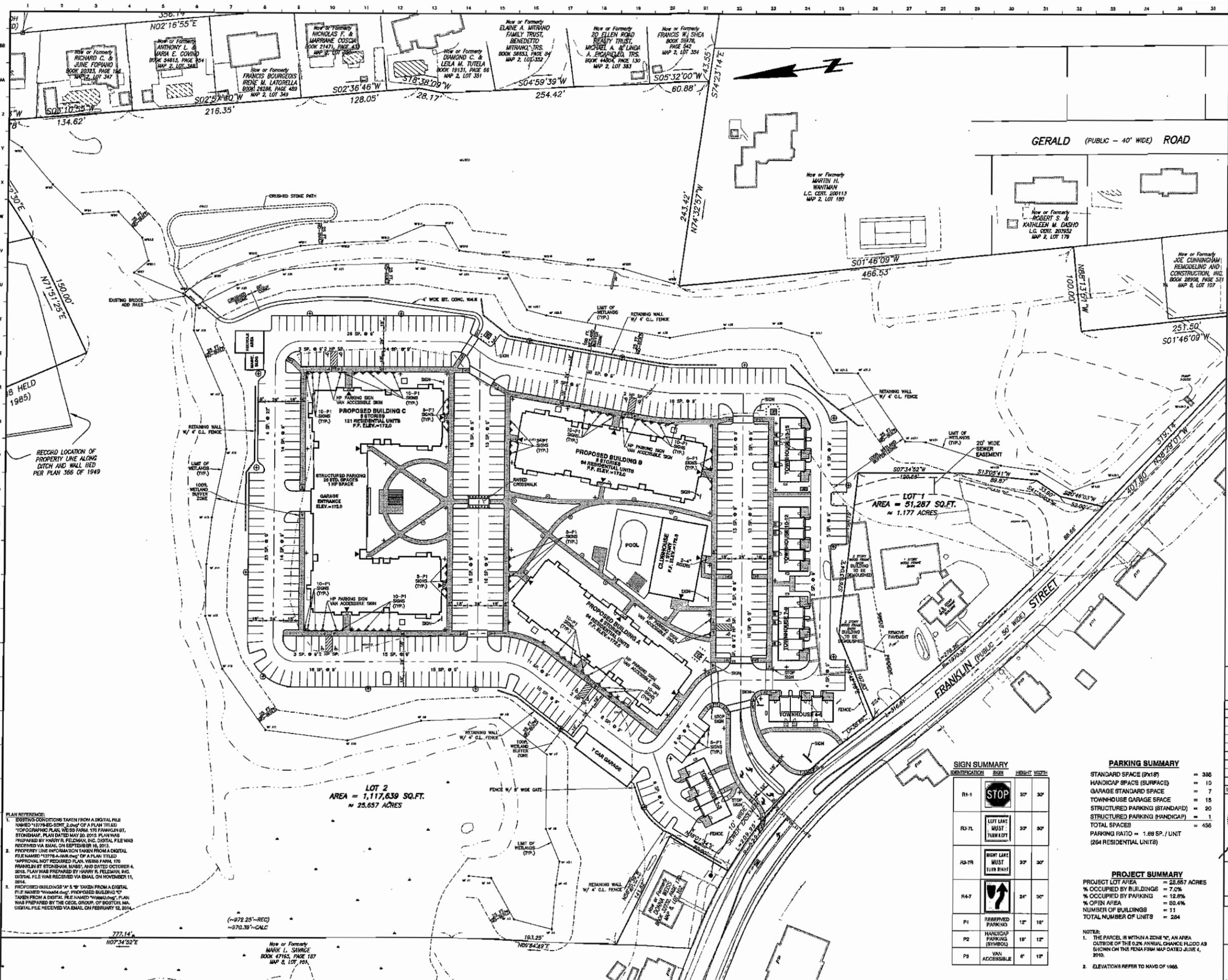
CIVIL ENGINEER
H.W. MOORE ASSOCIATES, INC.
112 SHAWMUT AVENUE
BOSTON, MA 02118
TEL. 617-357-8145
CONTACT: JAMES WHITE, P.E.

ARCHITECT
RUSSELL, SCOTT STEEDLE & CAPONE ARCHITECTS INC.
18 BRATTLE ST.
CAMBRIDGE, MA 02138
TEL. 617-661-5880
CONTACT: HUGH RUSSELL, AIA

SURVEYOR
HARRY R. FELDMAN, INC.
112 SHAWMUT AVE.
BOSTON, MA 02118
TEL. 617-357-9740
CONTACT: KARL McCARTHY, PLS

LANDSCAPE ARCHITECT
THE CECIL GROUP
170 MILK ST., SUITE 5
BOSTON, MA 02210
TEL. 617-426-5051
CONTACT: MICHAEL KLUCHMAN

APPLICANT
WEISS FARM APARTMENTS LLC
100 GRANDVIEW ROAD, SUITE 207
BRAintree, MA 02184
TEL. 781-849-7111
CONTACT: PETER MAHONEY



LEGEND

- 150 INDEX CONTOUR
- 152 INTERMEDIATE CONTOUR
- 154.75 HALF FOOT CONTOUR
- 154.75 SPOT GRADE
- DRAIN LINE
- CATCH BASIN (CB)
- DRAIN MANHOLE (DMH)
- DRAIN INLET (DI)
- WATER QUALITY DEVICE (WQD)
- SEWER LINE
- SEWER MANHOLE (SMH)
- WATER LINE
- FIRE HYDRANT
- GATE VALVE & TEE
- ELECTRIC LINE
- ELECTRIC TRANSFORMER
- GAS LINE
- GAS METER
- CONCRETE WALL
- RETAINING WALL
- EROSION CONTROL BARRIER
- POLE MOUNTED LIGHT (16'-20' POLE)
- POLE MOUNTED LIGHT (12'-16' POLE)
- PEDESTRIAN LEVEL LIGHT
- H.P. RAMP

GERALD (PUBLIC - 40' WIDE) ROAD

Now or Formerly
JOE CUNNINGHAM
REMODELING AND
CONSTRUCTION, INC.
BOOK 28908, PAGE 571
MAP 5, LOT 107

Now or Formerly
ROBERT S. &
KATHLEEN M. DASHO
L.C. CERT. 207932
MAP 2, LOT 178

Now or Formerly
MARTIN H.
WANTMAN
L.C. CERT. 200113
MAP 2, LOT 180

Now or Formerly
ELAINE A. MIRANO
FAMILY TRUST,
BENEDETTO
MITRANO, TRS.
BOOK 56551, PAGE 84
MAP 2, LOT 352

Now or Formerly
20 ELLEN ROAD
REARLY TRUST,
MICHAEL A. & LINDA
A. RICARDO, TRS.
BOOK 44004, PAGE 130
MAP 2, LOT 383

Now or Formerly
NICHOLAS F. &
MARIA E. COVINO
BOOK 23321, PAGE 104
MAP 2, LOT 347

Now or Formerly
FRANCIS BOURGEOIS
IRENE M. LATORELLA
BOOK 23206, PAGE 489
MAP 2, LOT 369

Now or Formerly
DIAMOND C. &
LELA M. TUTELA
BOOK 19131, PAGE 66
MAP 2, LOT 351

Now or Formerly
ANTHONY L. &
MARIA E. COVINO
BOOK 24813, PAGE 354
MAP 2, LOT 348

Now or Formerly
RICHARD C. &
JUNE FORPANO
BOOK 23321, PAGE 104
MAP 2, LOT 347

Now or Formerly
MARK L. SAVAGE
BOOK 47163, PAGE 187
MAP 2, LOT 12A

Now or Formerly
FRANKLIN ST. (PUBLIC - 50' WIDE) STREET

Now or Formerly
FRANKLIN ST. (PUBLIC - 50' WIDE) STREET

Now or Formerly
FRANKLIN ST. (PUBLIC - 50' WIDE) STREET



REVISIONS

NO.	DATE	DESCRIPTION
1	11/15/14	UPDATED FOR NOI SUBMISSION

DATE: JUNE 25, 2014
SCALE: 1" = 40'
SHEET C-2

**THE COMMONS AT
WEISS FARM**
STONEHAM, MASSACHUSETTS

**SITE LAYOUT AND
MATERIALS PLAN**

hwmoore
ASSOCIATES, INC.
CIVIL ENGINEERING & LAND PLANNING
112 Shawmut Avenue, Boston, MA 02118-2227
Tel: 617-287-5146 Fax: 617-287-5435 web: hwmoore.com

PLAN REFERENCE:

- EXISTING CONDITIONS TAKEN FROM A DIGITAL FILE NAMED "157785-SENT-2.dwg" OF A PLAN TITLED "TOPOGRAPHIC PLAN, WEISS FARM, 170 FRANKLIN ST., STONEHAM, PLAN DATED MAY 20, 2013. PLAN WAS PREPARED BY HENRY R. FELDMAN, INC. DIGITAL FILE WAS RECEIVED VIA EMAIL ON SEPTEMBER 16, 2013.
- PROPERTY LINE INFORMATION TAKEN FROM A DIGITAL FILE NAMED "157785-ANR-01.dwg" OF A PLAN TITLED "APPROVAL NOT REQUIRED PLAN, WEISS FARM, 170 FRANKLIN ST. STONEHAM MASS.; INV DATED OCTOBER 4, 2013. PLAN WAS PREPARED BY HENRY R. FELDMAN, INC. DIGITAL FILE WAS RECEIVED VIA EMAIL ON NOVEMBER 11, 2014.
- PROPOSED BUILDINGS "A" & "B" TAKEN FROM A DIGITAL FILE NAMED "157785-ANR-01.dwg" OF A PLAN TITLED "APPROVAL NOT REQUIRED PLAN, WEISS FARM, 170 FRANKLIN ST. STONEHAM MASS.; INV DATED OCTOBER 4, 2013. PLAN WAS PREPARED BY HENRY R. FELDMAN, INC. DIGITAL FILE WAS RECEIVED VIA EMAIL ON NOVEMBER 11, 2014.

**LOT 1
AREA = 51,287 SQ.FT.
≈ 1.177 ACRES**

**LOT 2
AREA = 1,117,639 SQ.FT.
≈ 25.657 ACRES**

SIGN SUMMARY

IDENTIFICATION	SIGN	HEIGHT	WIDTH
R1-1	STOP	30"	30"
R3-7L	LEFT LANE MUST TURN LEFT	30"	30"
R3-7R	RIGHT LANE MUST TURN RIGHT	30"	30"
R4-7	ONE WAY	24"	30"
P1	RESERVED PARKING	12"	18"
P2	HANDICAP PARKING (SYMBOL)	18"	12"
P3	VAN ACCESSIBLE	6"	12"

PARKING SUMMARY

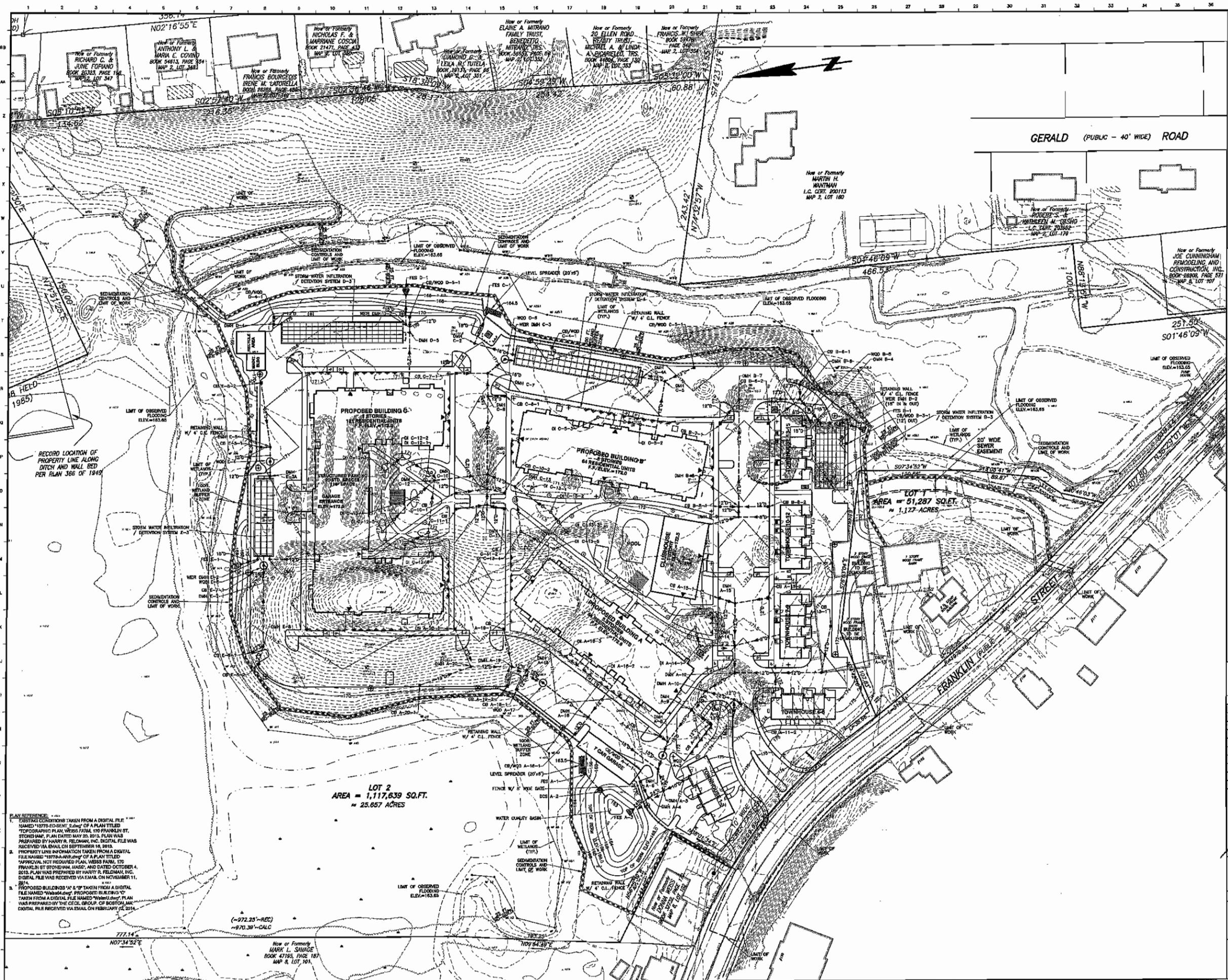
- STANDARD SPACE (9x18) = 385
- HANDICAP SPACE (SURFACE) = 10
- GARAGE STANDARD SPACE = 7
- TOWNHOUSE GARAGE SPACE = 15
- STRUCTURED PARKING (STANDARD) = 20
- STRUCTURED PARKING (HANDICAP) = 1
- TOTAL SPACES = 438
- PARKING RATIO = 1.88 SP. / UNIT (264 RESIDENTIAL UNITS)

PROJECT SUMMARY

- PROJECT LOT AREA = 25.657 ACRES
- % OCCUPIED BY BUILDINGS = 7.0%
- % OCCUPIED BY PARKING = 12.8%
- % OPEN AREA = 80.4%
- NUMBER OF BUILDINGS = 11
- TOTAL NUMBER OF UNITS = 264

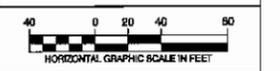
NOTES:

- THE PARCEL IS WITHIN A ZONE "C", AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD AS SHOWN ON THE FEMA FIRM MAP DATED JUNE 4, 2010.
- ELEVATIONS REFER TO NAVD OF 1988.



LEGEND

- 100 INDEX CONTOUR
- 150 INTERMEDIATE CONTOUR
- 154.75 HALF FOOT CONTOUR
- 154.75 SPOT GRADE
- DRAIN LINE
- GATED DRAIN (GD)
- DRAIN MANHOLE (DMH)
- DRAIN SILENT (DS)
- WATER QUALITY DEVICE (WQD)
- SEDIMENTATION CONTROL (SC)
- SEDIMENTATION CONTROL (SC) WITH WEIR
- WATER LINE
- FIRE HYDRANT
- GATE VALVE & TEEL
- ELECTRIC LINE
- ELECTRIC TRANSFORMER
- GAS LINE
- GAS METER
- CONCRETE WALK
- RETAINING WALL
- EROSION CONTROL BARRIER
- ⊕ POLE MOUNTED LIGHT (16'-20' POLE)
- ⊕ POLE MOUNTED LIGHT (12'-16' POLE)
- ⊕ PEDESTRIAN LEVEL LIGHT
- ⊕ H.P. RAMP



REVISIONS

NO.	DATE	DESCRIPTION
1	11/19/14	UPDATED FOR NOI SUBMISSION

DATE: JUNE 26, 2014
SCALE: 1" = 40'
SHEET C-3

THE COMMONS AT WEISS FARM
STONEHAM, MASSACHUSETTS

SITE GRADING AND DRAINAGE PLAN

hwmoore ASSOCIATES, INC.
CIVIL ENGINEERING | LAND PLANNING
112 Shrewsbury Avenue, Boston, MA 02116-0227
Tel: 617-827-8115 Fax: 617-827-8468 web: hwmoore.com

PLAN REFERENCE:

- EXISTING CONDITIONS TAKEN FROM A DIGITAL FILE NAMED "1875-SCHEMATIC" PART OF A PLAN TITLED "TOPOGRAPHIC PLAN, WEISS FARM, 170 FRANKLIN ST. STONEHAM, PLAN DATED MAY 20, 2013. PLAN WAS PREPARED BY HARRY R. FELDMAN, INC. DIGITAL FILE WAS RECEIVED VIA EMAIL ON SEPTEMBER 16, 2013.
- PROPERTY LINE INFORMATION TAKEN FROM A DIGITAL FILE NAMED "1875-PLAN" PART OF A PLAN TITLED "APPROVAL NOT REQUIRED PLAN, WEISS FARM, 170 FRANKLIN ST. STONEHAM, MASS., AND DATED OCTOBER 4, 2013. PLAN WAS PREPARED BY HARRY R. FELDMAN, INC. DIGITAL FILE WAS RECEIVED VIA EMAIL ON NOVEMBER 11, 2013.
- PROPOSED BUILDINGS 'A' & 'B' TAKEN FROM A DIGITAL FILE NAMED "1875-PLAN" PART OF A PLAN TITLED "APPROVAL NOT REQUIRED PLAN, WEISS FARM, 170 FRANKLIN ST. STONEHAM, MASS., AND DATED OCTOBER 4, 2013. PLAN WAS PREPARED BY HARRY R. FELDMAN, INC. DIGITAL FILE WAS RECEIVED VIA EMAIL ON NOVEMBER 11, 2013.

LOT 2
AREA = 1,117,639 SQ.FT.
= 25.657 ACRES

(-972.25'-REC)
-970.30'-CALC

Now or Formerly
MARK L. SAVAGE
BOOK 47185, PAGE 187
MAP 2, LOT 201

Now or Formerly
MARTIN H. WHITMAN
L.C. CERT. 200113
MAP 2, LOT 180

Now or Formerly
ROBERT S. E. WATKINS
L.C. CERT. 203362
MAP 2, LOT 179

Now or Formerly
JOE CUNNINGHAM
REMODELING AND
CONSTRUCTION, INC.
BOOK 26888, PAGE 571
MAP 3, LOT 101

RECORD LOCATION OF
PROPERTY LINE ALONG
DITCH AND WALL BED
PER PLAN 386 OF 1949

Now or Formerly
RICHARD C. & JUNE TOPIANO
BOOK 46023, PAGE 154
MAP 2, LOT 342

Now or Formerly
ANTHONY L. & MARIA C. COVINO
BOOK 54813, PAGE 354
MAP 2, LOT 348

Now or Formerly
FRANCIS BOURGEOIS
IRENE M. LATORELLA
BOOK 28284, PAGE 484
MAP 2, LOT 347

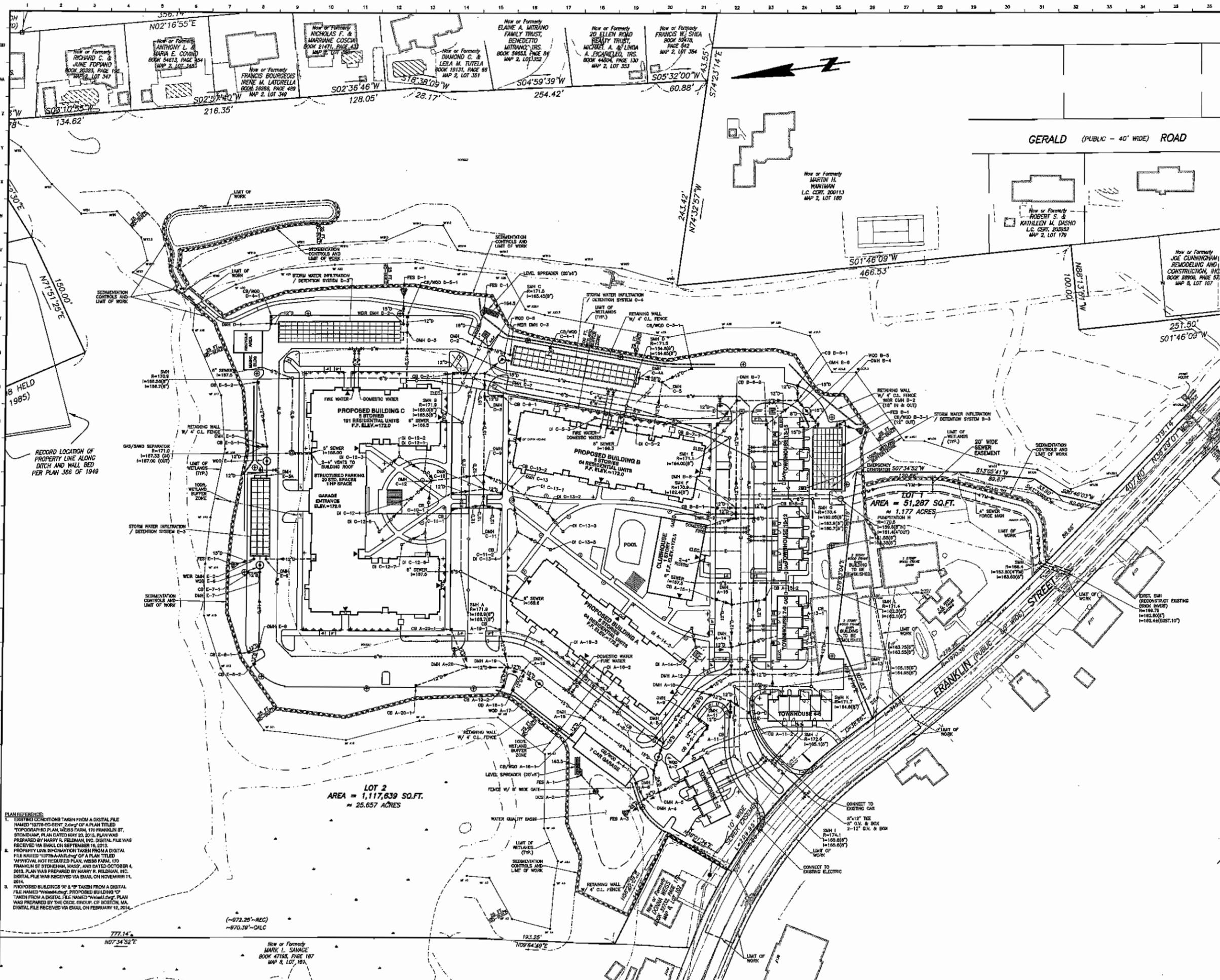
Now or Formerly
NICHOLAS F. & MARRIANE COSCA
BOOK 27471, PAGE 433
MAP 2, LOT 350

Now or Formerly
DIAMOND B.-B. & IZELA M. TURELLA
BOOK 38585, PAGE 89
MAP 2, LOT 351

Now or Formerly
ELAINE A. MIRANO
FAMILY TRUST,
BENEDETTO
MIRANO TRUST
BOOK 58585, PAGE 89
MAP 2, LOT 352

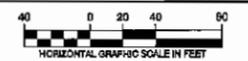
Now or Formerly
20 ELLEN ROAD
REBUTY TRUST
MICHAEL A. & LINDA
A. RICARDELLI TRS.
BOOK 11834, PAGE 131
MAP 2, LOT 353

Now or Formerly
FRANCIS W. SHEP
BOOK 58585, PAGE 89
MAP 2, LOT 354



LEGEND

- 150' INDEX CONTOUR
- 150' INTERMEDIATE CONTOUR
- 154.75' SPOT GRADE
- DRAIN LINE
- GATCH BASH (GB)
- DRAIN MANHOLE (DMH)
- DRAIN INLET (DI)
- WATER QUALITY DEVICE (WQD)
- SEWER LINE
- SEWER MANHOLE (SMH)
- WATER LINE
- FIRE HYDRANT
- GATE VALVE & TEE
- ELECTRIC LINE
- ELECTRIC TRANSFORMER
- GAS LINE
- GAS METER
- CONCRETE WALK
- RETAINING WALL
- CROSS CONTROL BARRIER
- POLE MOUNTED LIGHT (16'-20' POUL)
- POLE MOUNTED LIGHT (12'-16' POUL)
- PEDESTRIAN LEVEL LIGHT
- H.P. RAMP



REVISIONS

NO.	DATE	DESCRIPTION
1	11/12/14	UPDATED FOR MCI SUBMISSION

DATE: JUNE 25, 2014
SCALE: 1" = 40'
SHEET C-4

THE COMMONS AT WEISS FARM
 STONEHAM, MASSACHUSETTS
SITE UTILITY PLAN

hwmoore
 ASSOCIATES, INC.
 CIVIL ENGINEERING/LAND PLANNING
 112 Shawmut Avenue, Boston, MA 02110-2227
 Tel: 617-887-8100 Fax: 617-887-8105 www.hwmoore.com
 3484-036.dwg Rev'd: 10/20/14 12:47 PM Date Plotted: 06/25/14 12:49 PM

PLAN REFERENCE:

- EXISTING CONDITIONS TAKEN FROM A DIGITAL FILE NAMED "15779-00-REV 2.dwg" OF A PLAN TITLED "TOPOGRAPHIC PLAN, WEISS FARM, 170 FRANKLIN ST., STONEHAM, PLAN DATED MAY 20, 2013. PLAN WAS PREPARED BY HARRY R. FELDMAN, INC. DIGITAL FILE WAS RECEIVED VIA EMAIL ON SEPTEMBER 16, 2013.
- PRIORITY LINE INFORMATION TAKEN FROM A DIGITAL FILE NAMED "15779-00-REV 2.dwg" OF A PLAN TITLED "APPROVAL NOT REQUIRED PLAN, WEISS FARM, 170 FRANKLIN ST STONEHAM, MASS., AND DATED OCTOBER 4, 2013. PLAN WAS PREPARED BY HARRY R. FELDMAN, INC. DIGITAL FILE WAS RECEIVED VIA EMAIL ON NOVEMBER 11, 2014.
- PROPOSED BUILDINGS 'A' & 'B' TAKEN FROM A DIGITAL FILE NAMED "15779-00-REV 2.dwg" OF A PLAN TITLED "APPROVAL NOT REQUIRED PLAN, WEISS FARM, 170 FRANKLIN ST STONEHAM, MASS., AND DATED OCTOBER 4, 2013. PLAN WAS PREPARED BY HARRY R. FELDMAN, INC. DIGITAL FILE WAS RECEIVED VIA EMAIL ON FEBRUARY 12, 2014.

LOT 2
 AREA = 1,117,639 SQ.FT.
 ≈ 25.657 ACRES

LOT 1
 AREA = 51,287 SQ.FT.
 ≈ 1.177 ACRES

777.14'
 N07°24'52"E

(-072.20'-REC)
 (-970.38'-CALC)

Now or Formerly
 MARK L. SAVAGE
 BOOK 4718, PAGE 187
 MAP 2, LOT 187

Now or Formerly
 FRANCIS W. SHEA
 BOOK 5876, PAGE 542
 MAP 2, LOT 354

Now or Formerly
 ELAINE A. MITRANO
 FAMILY TRUST,
 BENEDETO
 MITRANO, TRS.
 BOOK 5853, PAGE 84
 MAP 2, LOT 352

Now or Formerly
 MICHAEL A. & LINDA
 A. ENCARIELLO, TRS.
 BOOK 4424, PAGE 130
 MAP 2, LOT 353

Now or Formerly
 MARTIN H.
 WENTMAN
 L.C. CERT. 200113
 MAP 2, LOT 180

Now or Formerly
 ROBERT S. &
 KATHLEEN M. DASHO
 L.C. CERT. 200352
 MAP 2, LOT 179

Now or Formerly
 JOE CUNNINGHAM,
 REMODELING AND
 CONSTRUCTION, INC.
 BOOK 3890, PAGE 571
 MAP 3, LOT 107

Now or Formerly
 FRANCIS BOURGEOIS
 IRENE M. LATORELLA
 BOOK 5088, PAGE 499
 MAP 2, LOT 340

Now or Formerly
 NICHOLAS F. &
 MARIANE COSCIA
 BOOK 1171, PAGE 41
 MAP 2, LOT 341

Now or Formerly
 ANTHONY L. &
 MARIA E. COVINO
 BOOK 5463, PAGE 354
 MAP 2, LOT 343

Now or Formerly
 RICHARD C. &
 JUNE POPPANO
 BOOK 2033, PAGE 156
 MAP 2, LOT 347

Now or Formerly
 DIAMOND C. &
 LIZIA M. TUTTLE
 BOOK 1931, PAGE 88
 MAP 2, LOT 351

Now or Formerly
 ELAINE A. MITRANO
 FAMILY TRUST,
 BENEDETO
 MITRANO, TRS.
 BOOK 5853, PAGE 84
 MAP 2, LOT 352

Now or Formerly
 MICHAEL A. & LINDA
 A. ENCARIELLO, TRS.
 BOOK 4424, PAGE 130
 MAP 2, LOT 353

Now or Formerly
 FRANCIS W. SHEA
 BOOK 5876, PAGE 542
 MAP 2, LOT 354

Now or Formerly
 MARTIN H.
 WENTMAN
 L.C. CERT. 200113
 MAP 2, LOT 180

Now or Formerly
 ROBERT S. &
 KATHLEEN M. DASHO
 L.C. CERT. 200352
 MAP 2, LOT 179

Now or Formerly
 JOE CUNNINGHAM,
 REMODELING AND
 CONSTRUCTION, INC.
 BOOK 3890, PAGE 571
 MAP 3, LOT 107

Now or Formerly
 FRANCIS BOURGEOIS
 IRENE M. LATORELLA
 BOOK 5088, PAGE 499
 MAP 2, LOT 340

Now or Formerly
 NICHOLAS F. &
 MARIANE COSCIA
 BOOK 1171, PAGE 41
 MAP 2, LOT 341

Now or Formerly
 ANTHONY L. &
 MARIA E. COVINO
 BOOK 5463, PAGE 354
 MAP 2, LOT 343

Now or Formerly
 RICHARD C. &
 JUNE POPPANO
 BOOK 2033, PAGE 156
 MAP 2, LOT 347

Now or Formerly
 DIAMOND C. &
 LIZIA M. TUTTLE
 BOOK 1931, PAGE 88
 MAP 2, LOT 351

Now or Formerly
 ELAINE A. MITRANO
 FAMILY TRUST,
 BENEDETO
 MITRANO, TRS.
 BOOK 5853, PAGE 84
 MAP 2, LOT 352

Now or Formerly
 MICHAEL A. & LINDA
 A. ENCARIELLO, TRS.
 BOOK 4424, PAGE 130
 MAP 2, LOT 353

Now or Formerly
 FRANCIS W. SHEA
 BOOK 5876, PAGE 542
 MAP 2, LOT 354

Now or Formerly
 MARTIN H.
 WENTMAN
 L.C. CERT. 200113
 MAP 2, LOT 180

Now or Formerly
 ROBERT S. &
 KATHLEEN M. DASHO
 L.C. CERT. 200352
 MAP 2, LOT 179

Now or Formerly
 JOE CUNNINGHAM,
 REMODELING AND
 CONSTRUCTION, INC.
 BOOK 3890, PAGE 571
 MAP 3, LOT 107

Now or Formerly
 FRANCIS BOURGEOIS
 IRENE M. LATORELLA
 BOOK 5088, PAGE 499
 MAP 2, LOT 340

Now or Formerly
 NICHOLAS F. &
 MARIANE COSCIA
 BOOK 1171, PAGE 41
 MAP 2, LOT 341

Now or Formerly
 ANTHONY L. &
 MARIA E. COVINO
 BOOK 5463, PAGE 354
 MAP 2, LOT 343

Now or Formerly
 RICHARD C. &
 JUNE POPPANO
 BOOK 2033, PAGE 156
 MAP 2, LOT 347

Now or Formerly
 DIAMOND C. &
 LIZIA M. TUTTLE
 BOOK 1931, PAGE 88
 MAP 2, LOT 351

Now or Formerly
 ELAINE A. MITRANO
 FAMILY TRUST,
 BENEDETO
 MITRANO, TRS.
 BOOK 5853, PAGE 84
 MAP 2, LOT 352

Now or Formerly
 MICHAEL A. & LINDA
 A. ENCARIELLO, TRS.
 BOOK 4424, PAGE 130
 MAP 2, LOT 353

Now or Formerly
 FRANCIS W. SHEA
 BOOK 5876, PAGE 542
 MAP 2, LOT 354

Now or Formerly
 MARTIN H.
 WENTMAN
 L.C. CERT. 200113
 MAP 2, LOT 180

Now or Formerly
 ROBERT S. &
 KATHLEEN M. DASHO
 L.C. CERT. 200352
 MAP 2, LOT 179

Now or Formerly
 JOE CUNNINGHAM,
 REMODELING AND
 CONSTRUCTION, INC.
 BOOK 3890, PAGE 571
 MAP 3, LOT 107

Now or Formerly
 FRANCIS BOURGEOIS
 IRENE M. LATORELLA
 BOOK 5088, PAGE 499
 MAP 2, LOT 340

Now or Formerly
 NICHOLAS F. &
 MARIANE COSCIA
 BOOK 1171, PAGE 41
 MAP 2, LOT 341

Now or Formerly
 ANTHONY L. &
 MARIA E. COVINO
 BOOK 5463, PAGE 354
 MAP 2, LOT 343

Now or Formerly
 RICHARD C. &
 JUNE POPPANO
 BOOK 2033, PAGE 156
 MAP 2, LOT 347

Now or Formerly
 DIAMOND C. &
 LIZIA M. TUTTLE
 BOOK 1931, PAGE 88
 MAP 2, LOT 351

Now or Formerly
 ELAINE A. MITRANO
 FAMILY TRUST,
 BENEDETO
 MITRANO, TRS.
 BOOK 5853, PAGE 84
 MAP 2, LOT 352

Now or Formerly
 MICHAEL A. & LINDA
 A. ENCARIELLO, TRS.
 BOOK 4424, PAGE 130
 MAP 2, LOT 353

Now or Formerly
 FRANCIS W. SHEA
 BOOK 5876, PAGE 542
 MAP 2, LOT 354

Now or Formerly
 MARTIN H.
 WENTMAN
 L.C. CERT. 200113
 MAP 2, LOT 180

Now or Formerly
 ROBERT S. &
 KATHLEEN M. DASHO
 L.C. CERT. 200352
 MAP 2, LOT 179

Now or Formerly
 JOE CUNNINGHAM,
 REMODELING AND
 CONSTRUCTION, INC.
 BOOK 3890, PAGE 571
 MAP 3, LOT 107

Now or Formerly
 FRANCIS BOURGEOIS
 IRENE M. LATORELLA
 BOOK 5088, PAGE 499
 MAP 2, LOT 340

Now or Formerly
 NICHOLAS F. &
 MARIANE COSCIA
 BOOK 1171, PAGE 41
 MAP 2, LOT 341

Now or Formerly
 ANTHONY L. &
 MARIA E. COVINO
 BOOK 5463, PAGE 354
 MAP 2, LOT 343

Now or Formerly
 RICHARD C. &
 JUNE POPPANO
 BOOK 2033, PAGE 156
 MAP 2, LOT 347

Now or Formerly
 DIAMOND C. &
 LIZIA M. TUTTLE
 BOOK 1931, PAGE 88
 MAP 2, LOT 351

Now or Formerly
 ELAINE A. MITRANO
 FAMILY TRUST,
 BENEDETO
 MITRANO, TRS.
 BOOK 5853, PAGE 84
 MAP 2, LOT 352

Now or Formerly
 MICHAEL A. & LINDA
 A. ENCARIELLO, TRS.
 BOOK 4424, PAGE 130
 MAP 2, LOT 353

Now or Formerly
 FRANCIS W. SHEA
 BOOK 5876, PAGE 542
 MAP 2, LOT 354

Now or Formerly
 MARTIN H.
 WENTMAN
 L.C. CERT. 200113
 MAP 2, LOT 180

Now or Formerly
 ROBERT S. &
 KATHLEEN M. DASHO
 L.C. CERT. 200352
 MAP 2, LOT 179

Now or Formerly
 JOE CUNNINGHAM,
 REMODELING AND
 CONSTRUCTION, INC.
 BOOK 3890, PAGE 571
 MAP 3, LOT 107

Now or Formerly
 FRANCIS BOURGEOIS
 IRENE M. LATORELLA
 BOOK 5088, PAGE 499
 MAP 2, LOT 340

Now or Formerly
 NICHOLAS F. &
 MARIANE COSCIA
 BOOK 1171, PAGE 41
 MAP 2, LOT 341

Now or Formerly
 ANTHONY L. &
 MARIA E. COVINO
 BOOK 5463, PAGE 354
 MAP 2, LOT 343

Now or Formerly
 RICHARD C. &
 JUNE POPPANO
 BOOK 2033, PAGE 156
 MAP 2, LOT 347

Now or Formerly
 DIAMOND C. &
 LIZIA M. TUTTLE
 BOOK 1931, PAGE 88
 MAP 2, LOT 351

Now or Formerly
 ELAINE A. MITRANO
 FAMILY TRUST,
 BENEDETO
 MITRANO, TRS.
 BOOK 5853, PAGE 84
 MAP 2, LOT 352

Now or Formerly
 MICHAEL A. & LINDA
 A. ENCARIELLO, TRS.
 BOOK 4424, PAGE 130
 MAP 2, LOT 353

Now or Formerly
 FRANCIS W. SHEA
 BOOK 5876, PAGE 542
 MAP 2, LOT 354

Now or Formerly
 MARTIN H.
 WENTMAN
 L.C. CERT. 200113
 MAP 2, LOT 180

Now or Formerly
 ROBERT S. &
 KATHLEEN M. DASHO
 L.C. CERT. 200352
 MAP 2, LOT 179

Now or Formerly
 JOE CUNNINGHAM,
 REMODELING AND
 CONSTRUCTION, INC.
 BOOK 3890, PAGE 571
 MAP 3, LOT 107

Now or Formerly
 FRANCIS BOURGEOIS
 IRENE M. LATORELLA
 BOOK 5088, PAGE 499
 MAP 2, LOT 340

Now or Formerly
 NICHOLAS F. &
 MARIANE COSCIA
 BOOK 1171, PAGE 41
 MAP 2, LOT 341

Now or Formerly
 ANTHONY L. &
 MARIA E. COVINO
 BOOK 5463, PAGE 354
 MAP 2, LOT 343

Now or Formerly
 RICHARD C. &
 JUNE POPPANO
 BOOK 2033, PAGE 156
 MAP 2, LOT 347

Now or Formerly
 DIAMOND C. &
 LIZIA M. TUTTLE
 BOOK 1931, PAGE 88
 MAP 2, LOT 351

Now or Formerly
 ELAINE A. MITRANO
 FAMILY TRUST,
 BENEDETO
 MITRANO, TRS.
 BOOK 5853, PAGE 84
 MAP 2, LOT 352

Now or Formerly
 MICHAEL A. & LINDA
 A. ENCARIELLO, TRS.
 BOOK 4424, PAGE 130
 MAP 2, LOT 353

Now or Formerly
 FRANCIS W. SHEA
 BOOK 5876, PAGE 542
 MAP 2, LOT 354

Now or Formerly
 MARTIN H.
 WENTMAN
 L.C. CERT. 200113
 MAP 2, LOT 180

Now or Formerly
 ROBERT S. &
 KATHLEEN M. DASHO
 L.C. CERT. 200352
 MAP 2, LOT 179

Now or Formerly
 JOE CUNNINGHAM,
 REMODELING AND
 CONSTRUCTION, INC.
 BOOK 3890, PAGE 571
 MAP 3, LOT 107

Now or Formerly
 FRANCIS BOURGEOIS
 IRENE M. LATORELLA
 BOOK 5088, PAGE 499
 MAP 2, LOT 340

Now or Formerly
 NICHOLAS F. &
 MARIANE COSCIA
 BOOK 1171, PAGE 41
 MAP 2, LOT 341

Now or Formerly
 ANTHONY L. &
 MARIA E. COVINO
 BOOK 5463, PAGE 354
 MAP 2, LOT 343

Now or Formerly
 RICHARD C. &
 JUNE POPPANO
 BOOK 2033, PAGE 156
 MAP 2, LOT 347

Now or Formerly
 DIAMOND C. &
 LIZIA M. TUTTLE
 BOOK 1931, PAGE 88
 MAP 2, LOT 351

Now or Formerly
 ELAINE A. MITRANO
 FAMILY TRUST,
 BENEDETO
 MITRANO, TRS.
 BOOK 5853, PAGE 84
 MAP 2, LOT 352

Now or Formerly
 MICHAEL A. & LINDA
 A. ENCARIELLO, TRS.
 BOOK 4424, PAGE 130
 MAP 2, LOT 353

Now or Formerly
 FRANCIS W. SHEA
 BOOK 5876, PAGE 542
 MAP 2, LOT 354

Now or Formerly
 MARTIN H.
 WENTMAN
 L.C. CERT. 200113
 MAP 2, LOT 180

Now or Formerly
 ROBERT S. &
 KATHLEEN M. DASHO
 L.C. CERT. 200352
 MAP 2, LOT 179

Now or Formerly
 JOE CUNNINGHAM,
 REMODELING AND
 CONSTRUCTION, INC.
 BOOK 3890, PAGE 571
 MAP 3, LOT 107

Now or Formerly
 FRANCIS BOURGEOIS
 IRENE M. LATORELLA
 BOOK 5088, PAGE 499
 MAP 2, LOT 340

Now or Formerly
 NICHOLAS F. &
 MARIANE COSCIA
 BOOK 1171, PAGE 41
 MAP 2, LOT 341

Now or Formerly
 ANTHONY L. &
 MARIA E. COVINO
 BOOK 5463, PAGE 354
 MAP 2, LOT 343

Now or Formerly
 RICHARD C. &
 JUNE POPPANO
 BOOK 2033, PAGE 156
 MAP 2, LOT 347

Now or Formerly
 DIAMOND C. &
 LIZIA M. TUTTLE
 BOOK 1931, PAGE 88
 MAP 2, LOT 351

Now or Formerly
 ELAINE A. MITRANO
 FAMILY TRUST,
 BENEDETO
 MITRANO, TRS.
 BOOK 5853, PAGE 84
 MAP 2, LOT 352

Now or Formerly
 MICHAEL A. & LINDA
 A. ENCARIELLO, TRS.
 BOOK 4424, PAGE 130
 MAP 2, LOT 353

Now or Formerly
 FRANCIS W. SHEA
 BOOK 5876, PAGE 542
 MAP 2, LOT 354

Now or Formerly
 MARTIN H.
 WENTMAN
 L.C. CERT. 200113
 MAP 2, LOT 180

Now or Formerly
 ROBERT S. &
 KATHLEEN M. DASHO
 L.C. CERT. 200352
 MAP 2, LOT 179

Now or Formerly
 JOE CUNNINGHAM,
 REMODELING AND
 CONSTRUCTION, INC.
 BOOK 3890, PAGE 571
 MAP 3, LOT 107

Now or Formerly
 FRANCIS BOURGEOIS
 IRENE M. LATORELLA
 BOOK 5088, PAGE 499
 MAP 2, LOT 340

Now or Formerly
 NICHOLAS F. &
 MARIANE COSCIA
 BOOK 1171, PAGE 41
 MAP 2, LOT 341

Now or Formerly
 ANTHONY L. &
 MARIA E. COVINO
 BOOK 5463, PAGE 354
 MAP 2, LOT 343

Now or Formerly
 RICHARD C. &
 JUNE POPPANO
 BOOK 2033, PAGE 156
 MAP 2, LOT 347

Now or Formerly
 DIAMOND C. &
 LIZIA M. TUTTLE
 BOOK 1931, PAGE 88
 MAP 2, LOT 351

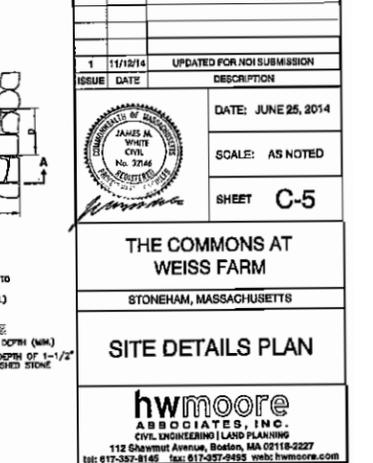
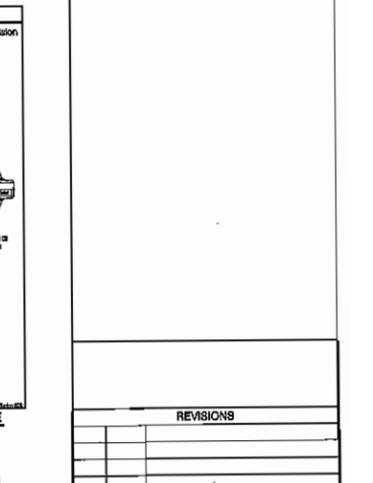
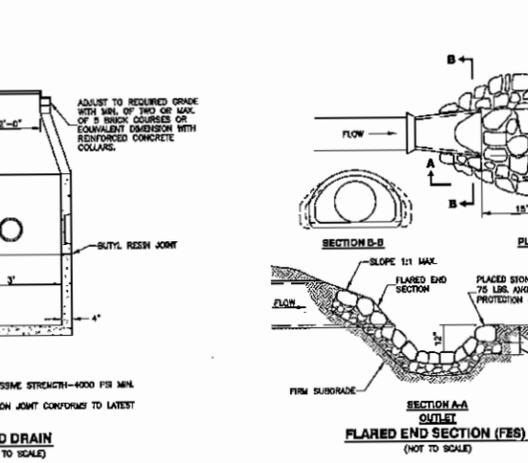
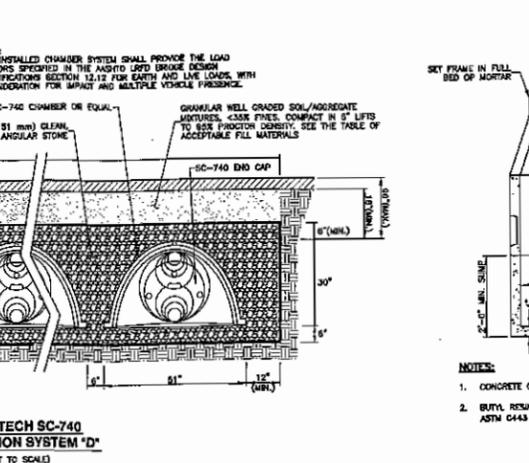
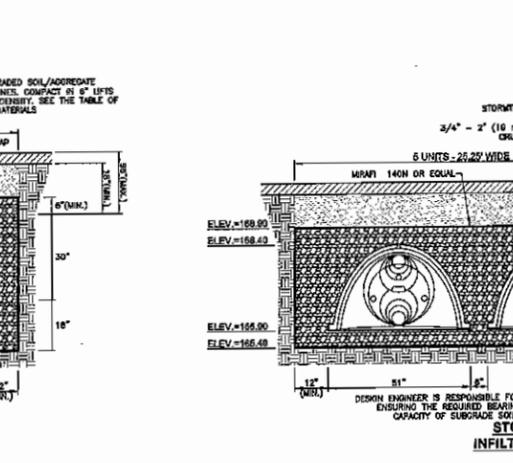
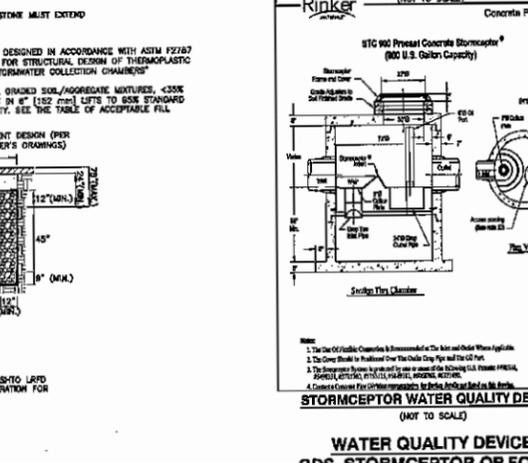
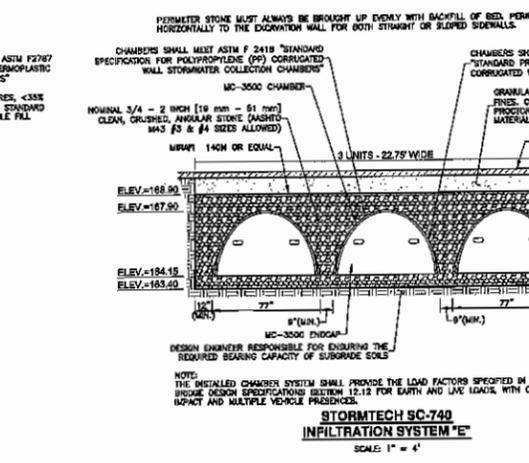
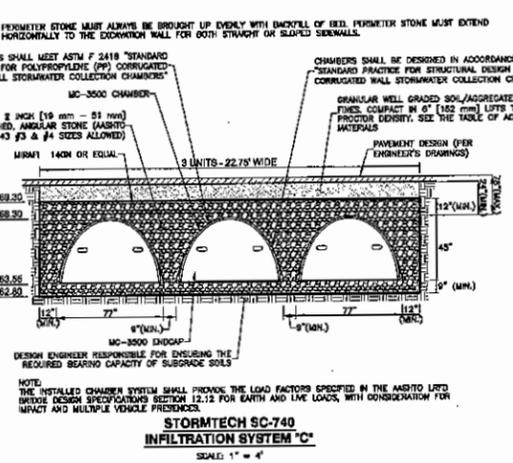
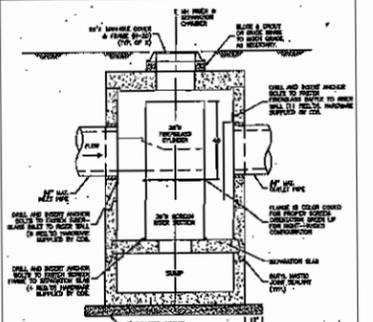
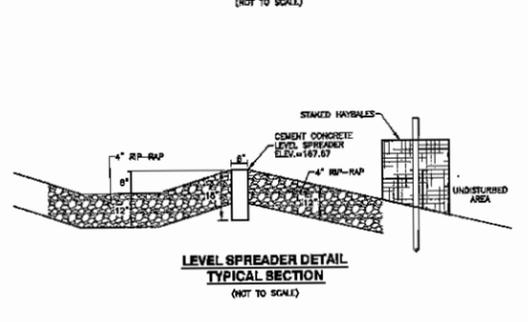
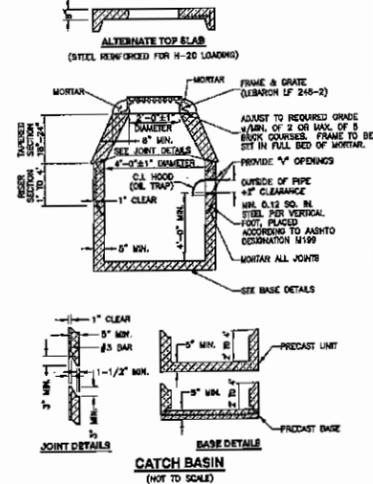
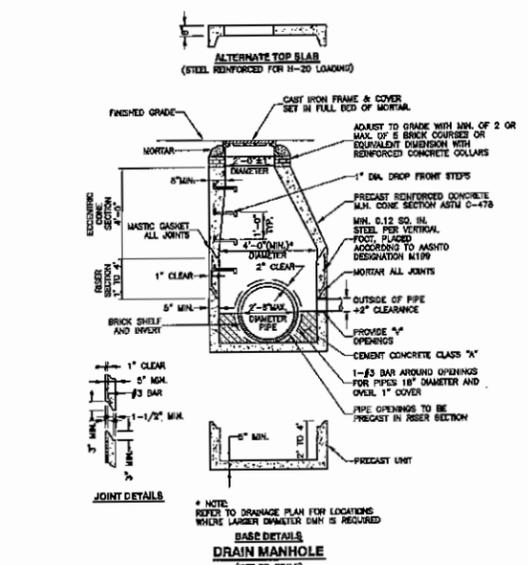
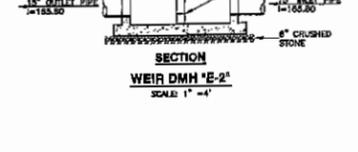
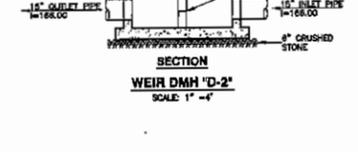
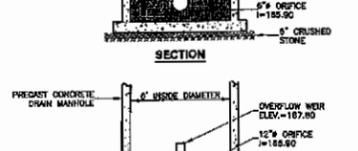
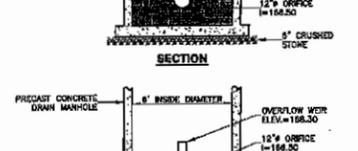
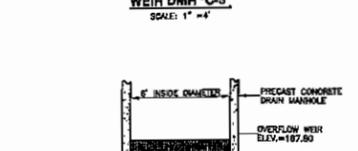
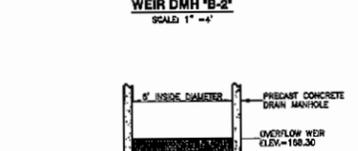
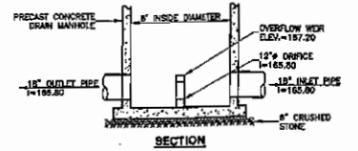
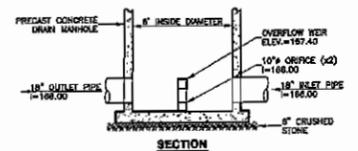
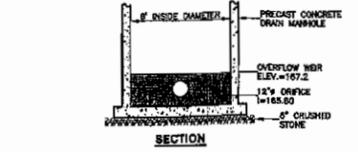
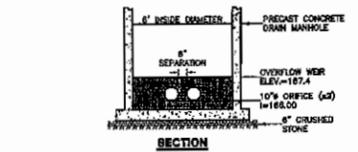
Now or Formerly
 ELAINE A. MITRANO
 FAMILY TRUST,
 BENEDETO
 MITRANO, TRS.
 BOOK 5853, PAGE 84
 MAP 2, LOT 352

Now or Formerly
 MICHAEL A. & LINDA
 A. ENCARIELLO, TRS.
 BOOK 4424, PAGE 130
 MAP 2, LOT 353

Now or Formerly

DRAINAGE STRUCTURE SCHEDULE		
STRUCTURE	RIM ELEV.	INVERT ELEV.
CB A-20-1	170.6	167.60
CB A-20-2	170.2	167.50
DMH A-40	170.5	167.20
CB A-19-1	170.8	167.20
CB A-19-2	170.3	167.30
DMH A-19	170.2	168.65
CB A-18-1	170.3	167.30
DMH A-18	170.2	168.55 (12") 168.65 (15")
WOD A-17	170.8	168.50 (15" IN) 168.40 (15" OUT)
CBWOD A-15-1	170.2	166.70
DMH A-16	170.8	168.30 (12") 168.00 (15")
CB A-15-1	170.9	168.20
CB A-15-2	170.6	168.20
DMH A-15	171.2	168.05
DMH A-14	172.0	167.50 (12") 167.50 (15" ROOF)
CB A-13-1	170.8	167.30
DMH A-13	171.3	167.80
DMH A-12	172.1	167.10 (12") 168.85 (15")
CB A-11-1	173.0	169.30
CB A-11-2	173.0	169.30
DMH A-11	172.8	168.16
DMH A-10	172.1	168.80 (12") 168.60 (15")
CB A-9-1	171.8	167.90
DMH A-8	172.0	168.70 (12") 168.45 (15")
CB A-8-1	171.8	167.80
DMH A-8	171.7	167.00 (12") 168.10 (15")
WOD A-7	171.8	168.95 (15" IN) 168.85 (15" OUT)
DMH A-6	171.4	168.65 (15") 168.45 (15") 168.00 (24")
DMH A-6	172.0	168.85 (24") 167.00 (15" ROOF)
CBWOD A-4	171.0	167.00
DMH A-4	171.6	168.85 (24") 168.00 (12")
FES A-3	-	164.75
DCS A-2	167.3	SEE DETAIL
FES A-1	-	164.00
DMH B-9	170.8	167.50 (12") 167.65 (15")
CB B-9-1	170.5	167.50
CB B-9-2	170.3	167.50
DMH B-8	170.8	167.40
CB B-7-1	170.7	167.20
DMH B-7	170.8	168.80 (12") 168.25 (15")
CB B-6-1	169.7	166.70
CB B-6-2	170.7	167.20
FES E-1	-	166.50

DRAINAGE STRUCTURE SCHEDULE		
STRUCTURE	RIM ELEV.	INVERT ELEV.
DMH B-5	169.8	168.50 (12") 168.25 (15")
WOD B-4	170.1	168.15 (15" IN) 168.00 (15" OUT)
DMH B-4	170.0	168.00 (15") 168.00 (15" ROOF)
CB B-4-1	169.8	168.80
WER DMH B-2	169.4	SEE DETAIL
FES B-1	-	165.80
DMH C-13	171.6	167.80
DMH C-12	171.1	167.80
CB C-11-1	170.5	167.80
CB C-11-2	170.5	167.80
DMH C-11	170.8	167.50
CB C-10-1	170.5	167.70
CB C-10-2	170.5	167.70
DMH C-10	170.8	167.90
DMH C-9	171.1	167.15 (15") 167.40 (12")
CB C-9-1	171.8	168.00
DMH C-8	171.4	166.95 (12") 168.70 (15")
CB C-7-1	171.5	167.70
DMH C-7	171.3	168.55 (15") 168.80 (12")
WOD C-6	170.8	168.40 (18") 168.30 (12" OUT)
CBWOD C-5-1	169.8	166.50
DMH C-5	170.3	168.40 (12") 168.15 (15")
CBWOD C-4-1	169.8	168.50
DMH C-4A	170.7	168.00
WER DMH C-3	170.8	SEE DETAIL
DMH C-8	170.9	168.40
FES C-1	-	165.00
CBWOD D-5-1	169.8	167.00
DMH D-5	170.2	168.90
CBWOD D-4-1	169.8	167.00
DMH D-4	170.0	168.90
WER DMH D-2	169.9	SEE DETAIL
FES D-1	-	165.80
CB E-9	170.1	167.10
CB E-8-1	170.2	168.2
CB E-8-2	170.0	167.00
DMH E-8	170.3	168.00
DMH E-7	170.0	168.45
WOD E-6	170.0	168.40 (18") 168.30 (12" OUT)
CB E-5-1	170.5	167.30
CB E-5-2	170.5	167.40
DMH E-5	170.6	167.10
WOD E-4	170.8	167.00 (18") 168.90 (12" OUT)
DMH E-3A	170.0	168.90
WER DMH E-2	169.9	SEE DETAIL
FES E-1	-	166.50



REVISIONS	
NO.	DESCRIPTION
1	11/10/14 UPDATED FOR NOI SUBMISSION

DATE: JUNE 25, 2014
SCALE: AS NOTED
SHEET C-5

THE COMMONS AT WEISS FARM
STONEHAM, MASSACHUSETTS

SITE DETAILS PLAN

hwmoore
A S C I A T E S I N C.
CIVIL ENGINEERING | LAND PLANNING
112 Shawmut Avenue, Boston, MA 02118-2227
Tel: 617-337-8146 Fax: 617-337-2495 www.hwmoore.com

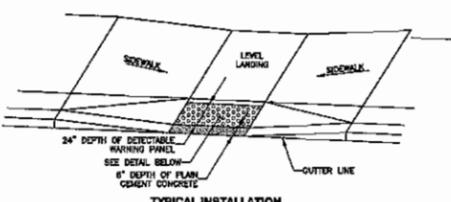
DETECTABLE WARNING APPLICATION NOTES

TRUNCATED CONES SHALL BE PLACED ALONG THE ENTIRE WIDTH OF THE SIDEWALK AT A DISTANCE OF NOT LESS THAN 2 FEET ALONG THE SIDEWALK WHENEVER A PUBLIC SIDEWALK CROSSING A RAMP OR STREET AT GRADE.

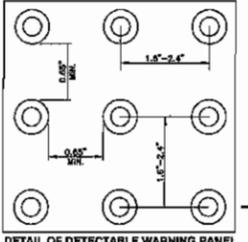
A. AT GRADE CROSSINGS WITH A PRESTRICTION CONTROL, DATE THE EDGE OF THE 1 FOOT LENGTH OF DETECTABLE WARNING CLOSEST TO THE CONTROL GATE, SHALL BE PLACED PARALLEL TO THE CONTROL GATE AT A DISTANCE OF BETWEEN 4 FEET AND 6 FEET FROM THE GATE AS A DOWN POSITION.

B. AT GRADE CROSSINGS WITHOUT A CONTROL GATE, THE EDGE OF THE 1 FOOT LENGTH OF DETECTABLE WARNING CLOSEST TO THE CONTROL GATE SHALL BE PLACED AT A DISTANCE OF 5 FEET IN ADVANCE OF THE FIRST RAIL CROSSING THE PATH OF TRAVEL.

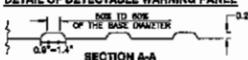
C. LAMP MATERIAL SPECIFICATION TO BE WRITTEN.



TYPICAL INSTALLATION



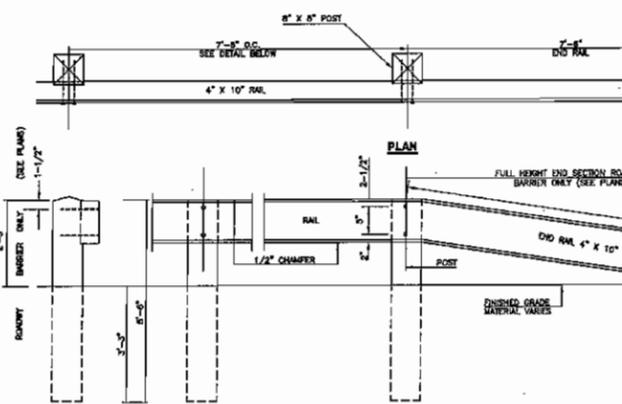
LAYOUT PLAN TYPICAL HANDICAP PARKING



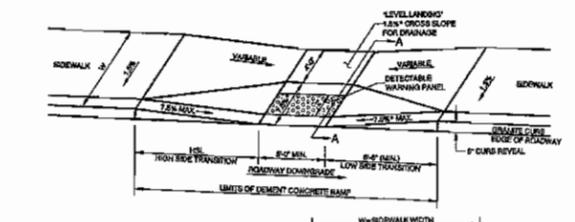
DETAIL OF DETECTABLE WARNING PANEL FOR WHEELCHAIR RAMPS

NOTE: PANELS MAY BE CONCRETE PRECAST OR CAST IN PLACE OR OTHER SUITABLE MATERIAL. FORMWORK APPLIED TO THE RAMP, DETECTABLE WARNING SURFACES SHALL CONTRAST VISIBLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

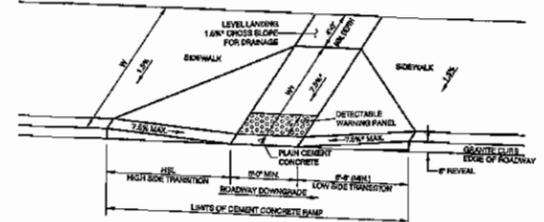
DETECTABLE WARNING PANEL FOR WHEELCHAIR RAMPS



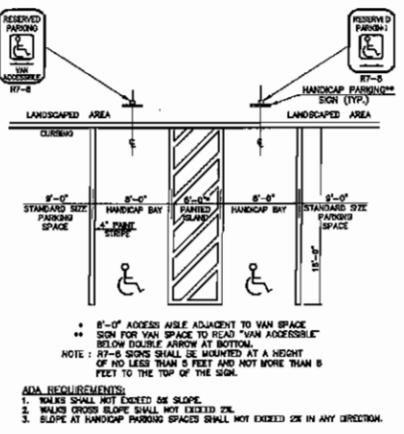
SINGLE FACE WOOD GUARD RAIL DETAIL



WHEELCHAIR CURB CUT LESS THAN 12\"/>

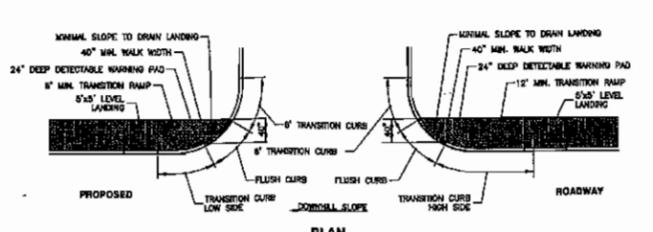


WHEELCHAIR CURB CUT GREATER THAN 12\"/>

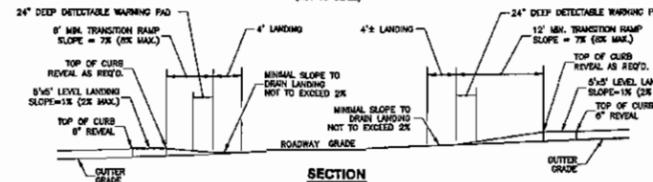


LAYOUT PLAN TYPICAL HANDICAP PARKING

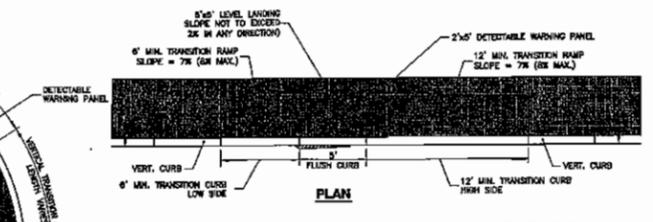
ADA REQUIREMENTS:
 1. RAMP SHALL NOT EXCEED 8% SLOPE.
 2. WALKS CROSS SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION.
 3. SLOPE AT HANDICAP PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION.



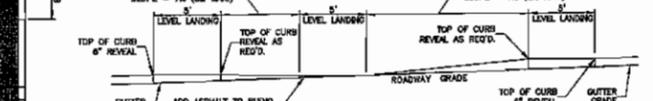
PLAN (NOT TO SCALE)



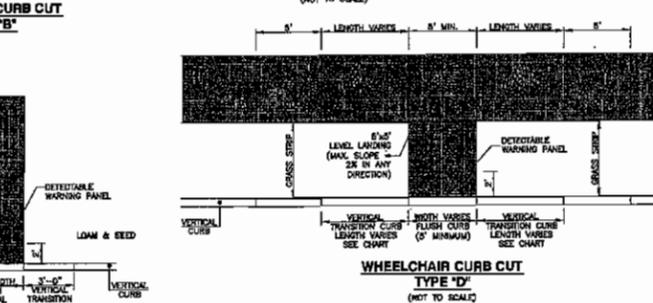
SECTION WHEELCHAIR CURB CUT TYPE 'E'



PLAN



SECTION WHEELCHAIR CURB CUT DETAIL 'A'



WHEELCHAIR CURB CUT TYPE 'D'

ROADWAY PROFILE GRADE	MIN. HIGH SIDE TRANSITION LENGTH ROUNDED TO THE NEAREST 6"
0	6'-6"
+0 to 1	7'-6"
+1 to 2	8'-0"
+2 to 3	11'-0"
+3 to 4	14'-0"
+4	15'-0" Max.

NOTE: BASED ON A DESIGN SLOPE OF 2.0% AND A RAMP OF 8%
 LEGEND
 HSL = HIGH SIDE TRANSITION LENGTH (SEE NOTE 107.9.0)
 W = SIDEWALK WIDTH
 W1 = PERPENDICULAR RAMP LENGTH
 Wc = CURB WIDTH
 T = TOLERANCE FOR CONSTRUCTION ±0.5
 USABLE SIDEWALK WIDTH PER AAS = W-Wc
 RAMP LENGTH, W1 = W-4.7 MIN.

CURB TRANSITION LENGTHS FOR WHEELCHAIR CURB CUT RAMPS

ACCESSIBILITY NOTES

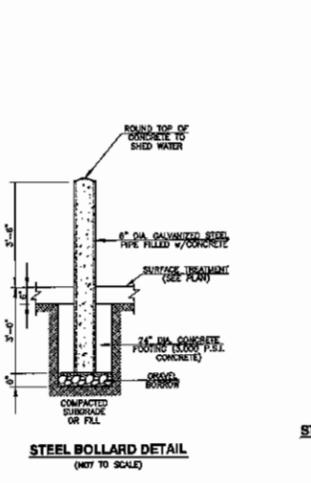
- SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH THE AMERICAN ARCHITECTURAL ACCESS BOARD (AAAB) RULES AND REGULATIONS AND THE AMERICAN DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN (ADAA).
 - IT IS ESSENTIAL THAT CONTRACTORS BE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. THESE NOTES AND DETAILS ARE INTENDED TO ASSIST CONTRACTORS IN ACHIEVING COMPLIANCE WITH THE ADAA AT THE TIME WHEN THEY ARE DESIGNING THE PROJECT. IF SLOPES / GRADES AND CONDITIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO NOTIFY THE OWNER IMMEDIATELY, BEFORE WORKING FORWARD WITH THE WORK.
 - THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND THE ENGINEER IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DOCUMENTS, WHETHER BY ANY, LOCAL ASSOCIATED OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ALLEGE CONFLICT HAS BEEN IDENTIFIED UNLESS THE ALLEGE CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY DAMAGES AS A RESULT OF RESOLUTION OF ANY SUCH CONFLICT.
 - AAS REGULATIONS DO NOT ALLOW ANY TOLERANCE ON SLOPE REQUIREMENTS AND THE MAXIMUM SLOPES LISTED BELOW CAN NOT BE EXCEEDED.
 - IT IS RECOMMENDED THAT THE CONTRACTOR USE A FOOT CANTILEVER LEVEL TO VERIFY SLOPES PRIOR TO FINISHING SURFACES. IT IS FURTHER RECOMMENDED THAT FORMS BE CHECKED PRIOR TO PLACING CONCRETE OR ASPHALT.
 - THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBWAIR, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.
- ACCESSIBLE ROUTE NOTES:**
- AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS OR HIGHWAYS, AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY THEY SERVE.
 - AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE STOPS THAT ARE ON THE SAME SITE.
 - DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT ACCESSIBLE BUILDING ENTRANCES.
 - TRANSITIONS BETWEEN RAMPS, WALKWAYS, OUTERS OR STREETS SHALL BE FLUSH AND FREE OF ANY VERTICAL CHANGE OR SUCH MAXIMUM VERTICAL CHANGE.
- TRANSITS:**
- WIDTH OF WALKWAYS SHALL NOT BE LESS THAN 48 INCHES, EXCLUDING CURB CUTS.
 - WALKWAYS SHALL PROVIDE A MINIMUM OF 36 INCHES CLEAR UNOBSTRUCTED PATH OF TRAVEL. PARTIAL OBSTRUCTIONS, SUCH AS UTILITY POLES, SHALL BE REMOVED, ETC.
 - WALKWAY SURFACES SHALL HAVE A MAXIMUM FINISHING SLOPE OF 5% AND A MAXIMUM CROSS SLOPE OF 2%.
 - AT THE INTERSECTION OF TWO SIDEWALKS, THERE SHALL BE A LEVEL LANDING WITH NO SLOPE GREATER THAN 2% IN ANY DIRECTION.
 - ANY WALKWAY SURFACE WITH A FINISHING SLOPE GREATER THAN 2% IS CONSIDERED A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB CUT RAMPS.
 - ACCESSIBLE ROUTE SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
 - IF CATCH BASINS OR OTHER OBSTACLES ARE LOCATED WITHIN AN ACCESSIBLE ROUTE, THEY SHALL BE GRATE SHALL BE USED WITH SPACES NO GREATER THAN 1/2 INCH WIDE IN THE DIRECTION OF TRAVEL.
- RAMPS:**
- ANY PART OF AN ACCESSIBLE ROUTE WITH A FINISHING SLOPE GREATER THAN 2% SHALL BE CONSIDERED A RAMP OR A CURB CUT RAMP.
 - THE MAXIMUM FINISHING SLOPE FOR A RAMP SHALL BE 8% AND THE MAXIMUM CROSS SLOPE SHALL BE 2%.
 - THE CLEAR WIDTH OF A RAMP SHALL BE 48 INCHES MINIMUM AS MEASURED BETWEEN THE HANDRAILS.
 - THE MAXIMUM RISE FOR ANY RAMP SHALL BE 30 INCHES.
 - LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMP. LANDINGS SHALL HAVE A SLOPE NOT GREATER THAN 2% IN ANY DIRECTION. THE CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING. THE CLEAR LENGTH SHALL BE NOTY 50 INCHES LONG MINIMUM. RAMP RUNS MUST CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING OF BOTH SIDES BY BOTH (8) INCHES MINIMUM.
 - SLIP PROTECTION COMPLYING WITH ADA AND ADAAG REQUIREMENTS SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.
 - WHERE APPROPRIATE AND LOCATED ADJACENT TO A RAMP LANDING, LIGHTWEIGHT CLEARANCES OCCUPIED BY 80 CM PULLUP SIGN AND SIGN SHALL BE COMPLIED WITH.

ACCESSIBILITY NOTES (CONT.)

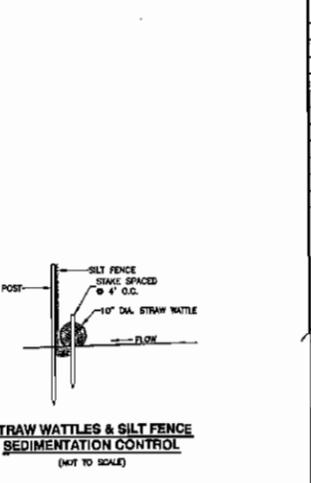
- CURB CUT RAMPS (CONT.):**
- IF A CURB CUT RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK THE CLEAR LENGTH OF THE LANDING IS LESS THAN FORTY-EIGHT (48) INCHES OR GUARDRAILS SHALL HAVE FLARED SIDES.
 - WHERE PROVIDED, CURB CUT RAMP FLARES SHALL NOT EXCEED 10% IF THE CLEAR LENGTH OF THE LANDING IS LESS THAN FORTY-EIGHT (48) INCHES. THE SLOPE OF THE FLARED SIDES SHALL NOT EXCEED 5.0%.
 - CURB CUT RAMPS AND THE FLARED SIDES OF CURB CUT RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANE. PARALLEL SPACES OR PARALLEL ACCESSIBLE CURB CUT RAMPS OR GUARDRAILS SHALL BE MINIMALLY CONTAINED WITHIN THE MARKING DESIGNATED FLARED SIDES.
 - CURB CUT RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
 - CURB CUT RAMPS SHALL HAVE A THIRTYFOUR (36) INCH DEEP DETECTABLE WARNING PANEL COMPLYING WITH ADAAG, EXTENDING THE FULL WIDTH OF THE RAMP. REFER TO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT.
 - WHERE PROVIDED, STOP SIGN SHALL BE LOCATED IN ADVANCE OF CURB CUT RAMP.
 - WHERE PROVIDED, DRAINAGE SLOPES SHALL BE LOCATED UPSTREAM OF CURB CUT RAMPS AND IN THE RAMP AREA.
 - CURB CUT RAMP TYPE AND LOCATION ARE SHOWN ON PLAN.
- ACCESSIBLE PARKING SPACES:**
- ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING OR FACILITY.
 - ACCESSIBLE PARKING SPACES AND ACCESSIBLE ROUTES SHALL BE AT LEAST 5 FEET WIDE. WHERE PARKING SPACES AND ACCESSIBLE ROUTES ARE MARKED WITH LINES, THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTRALS OF THE MARKINGS.
 - PARKING ACCESSIBLE ROUTES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES.
 - TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESSIBLE ROUTE.
 - ACCESSIBLE ROUTES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACES THEY SERVE.
 - ACCESSIBLE ROUTES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESSIBLE ROUTES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESSIBLE ROUTES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
 - SURFACES OF PARKING SPACES AND ACCESSIBLE ROUTES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESSIBLE ROUTES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.
 - PARKING SPACES AND ACCESSIBLE ROUTES SHALL BE LEVEL WITH SURFACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.
 - PARKED VEHICLE OBSTACLES SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
 - PARKING SPACES FOR VANS AND ACCESSIBLE AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A MINIMUM CLEARANCE OF 8 FEET 2 INCHES FROM THE VEHICLE. SIGNAGE SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES, INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.
 - EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. EACH ACCESSIBLE ROUTE SHALL BE CLEARLY MARKED BY MEANS OF PAINTED STRIPES. SIGNAGE SHALL BE INSTALLED AT A CLEAR HEIGHT OF BETWEEN 5 FEET AND 6 FEET TO THE TOP OF THE SIGN AND SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN ACCESSIBLE ROUTE. SIGNAGE LOCATED WHERE THEY MAY BE HIT BY VEHICLES SERVING PARKING SHALL BE INSTALLED WITH BOLLARD PROTECTION.
 - ACCESSIBLE PARKING SPACES, ACCESSIBLE ROUTES, STREETS, AND OPERATIONAL SPACES OF ACCESSIBILITY SHALL BE PAINTED BLUE.
- PASSENGER LOADING ZONES:**
- PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE 8 FEET WIDE MINIMUM AND 20 FEET LONG MINIMUM.
 - PASSENGER LOADING ZONES SHALL PROVIDE CLEARLY MARKED ACCESSIBLE ROUTES THAT IS 8 FEET WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE.
 - ACCESSIBLE ROUTE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.
 - VEHICLE PULLUP SPACES AND ACCESSIBLE ROUTES SERVING THEM SHALL BE LEVEL WITH SURFACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL BE AT THE SAME LEVEL AS THE VEHICLE PULLUP SPACE THEY SERVE.
 - SURFACES OF VEHICLE PULLUP SPACES AND ACCESSIBLE ROUTES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.
 - VEHICLE PULLUP SPACES, ACCESSIBLE ROUTES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR ENTRANCE, SHALL PROVIDE A VERTICAL CLEARANCE OF 8 FEET 6 INCHES MINIMUM.
- VEHICLE ENTRANCES:**
- ALL PUBLIC ENTRANCES SHALL BE ACCESSIBLE.
 - THE APPROACH TO AN ACCESSIBLE ENTRANCE SHALL BE A FIRM TRAIL OR RAMP WITH A SLIP RESISTANT SURFACE, UNOBSTRUCTED BY STEPS.
 - THE EXTERIOR LANDING AT THE ENTRANCE DOOR SHALL HAVE A LEVEL LANDING MEASURING AT LEAST 6 FEET BY 6 FEET AND SHALL NOT BE MORE THAN 1/4 INCH IN ANY DIRECTION.
 - THE LEVEL LANDING SHALL EXTEND A MINIMUM OF 18 INCHES WIDER THAN THE LATCH ON THE PULL SIDE OF THE DOOR.

CURB CUT RAMPS:

- CURB CUT RAMPS ARE REQUIRED AT THE CORNER OF EACH INTERSECTION AND WHERE A PEDESTRIAN PATH OF TRAVEL CROSSES A ROAD, DRIVEWAY OR OTHER VEHICULAR WAY.
- THE MAXIMUM FINISHING SLOPE OF A CURB CUT RAMP SHALL BE 8% AND THE MAXIMUM CROSS SLOPE SHALL BE 2%.
- CURB CUT RAMPS MAY EXTEND UP TO 14 FEET IN LENGTH.
- MAXIMUM SLOPES OF ADJOINING OUTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB CUT RAMP SHALL NOT BE STEEPER THAN 2%. THE ADJACENT SURFACES AT TRANSITIONS TO CURB CUT RAMPS TO YARDS, OUTERS AND STREETS SHALL BE AT THE SAME LEVEL.
- THE MINIMUM CLEAR WIDTH OF A CURB CUT RAMP SHALL BE 48 INCHES, EXCLUSIVE OF FLARED SIDES, IF PROVIDED.
- LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB CUT RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB CUT RAMP. EXCEPT FOR FLARED SIDES, LEADING TO THE LANDING, LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.



STEEL BOLLARD DETAIL



STRAW WATTLES & SILT FENCE SEDIMENTATION CONTROL

REVISIONS

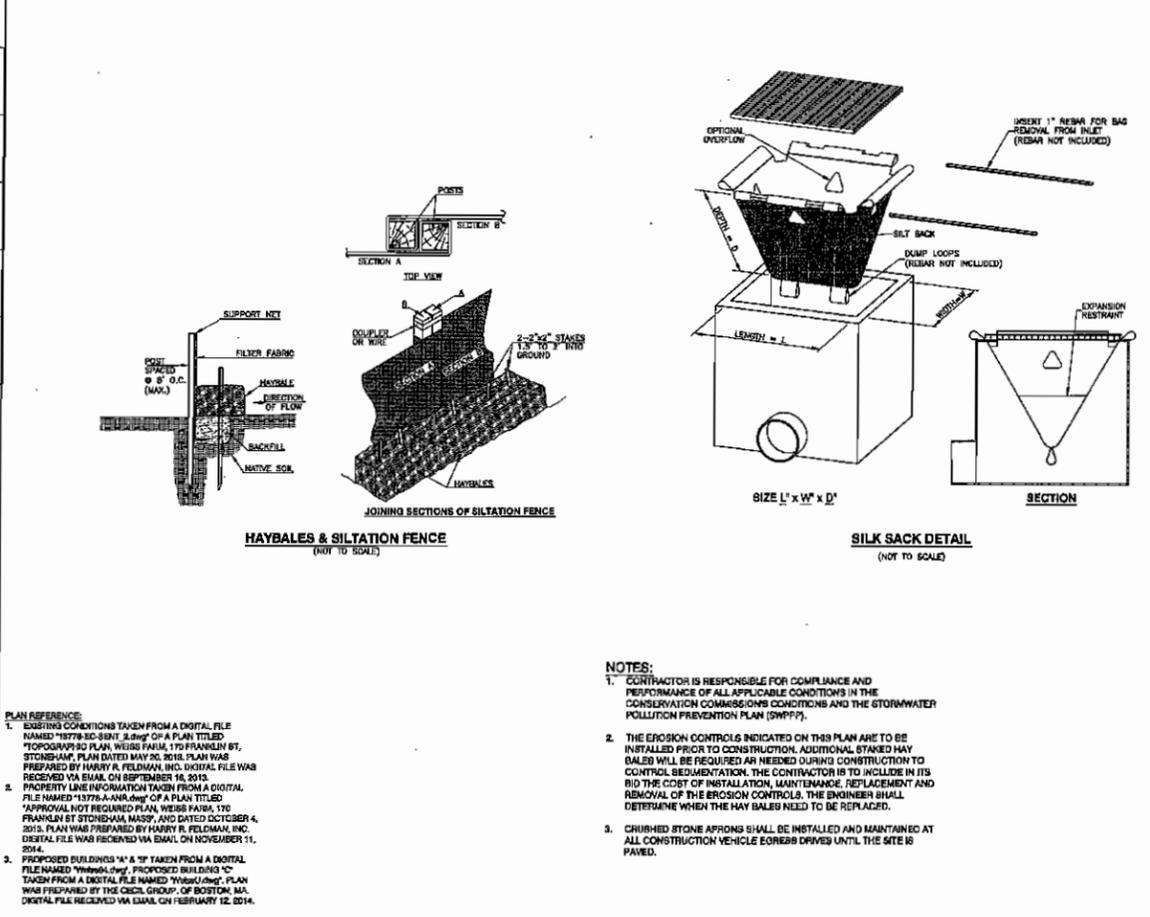
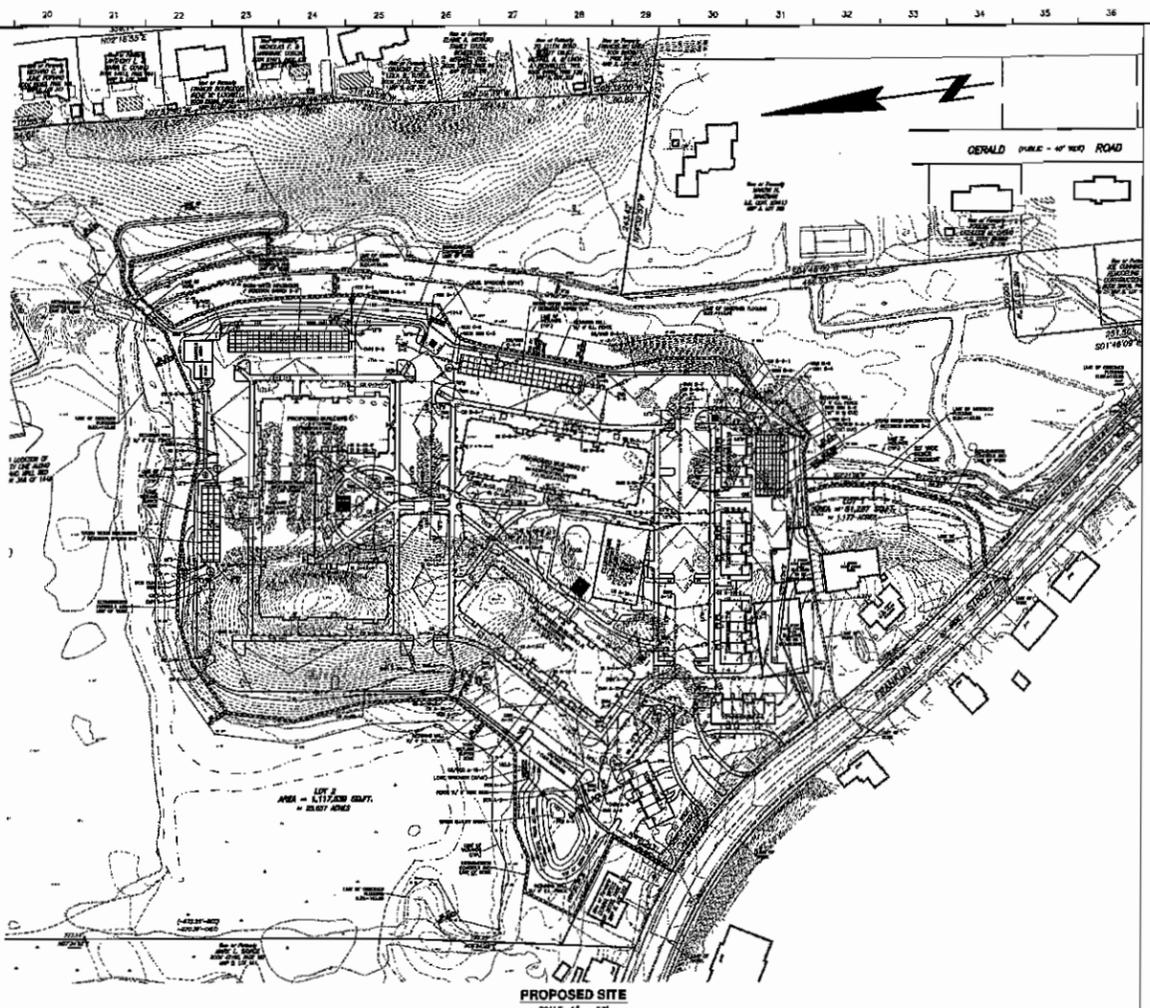
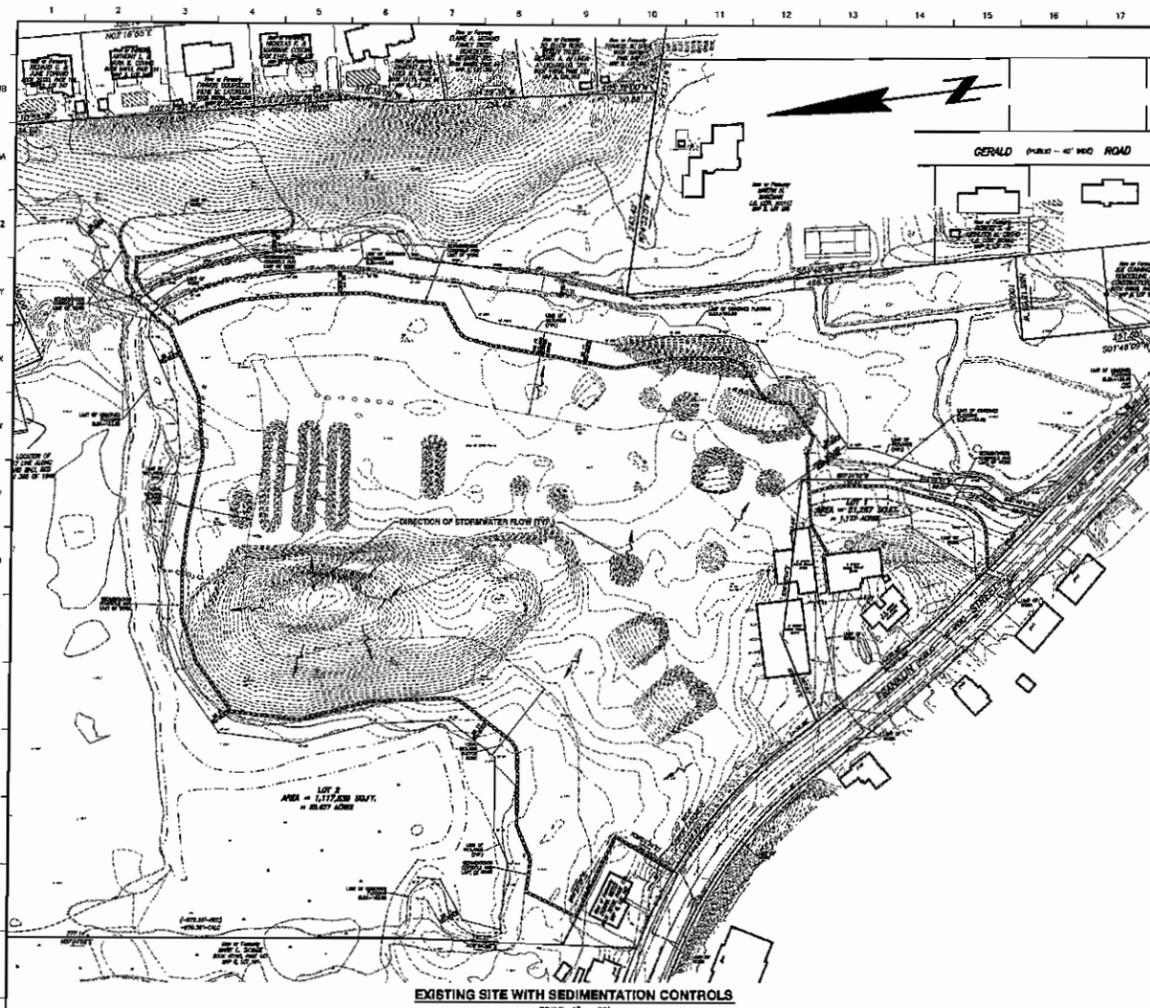
NO.	DATE	DESCRIPTION
1	11/27/14	UPDATED FOR HDI SUBMISSION

ISSUE DATE: 11/27/14
 DATE: JUNE 25, 2014
 SCALE: AS NOTED
 SHEET: C-7

THE COMMONS AT WEISS FARM
 STONEHAM, MASSACHUSETTS

SITE DETAILS PLAN

hwmoore ASSOCIATES, INC.
 CIVIL ENGINEERING / LAND PLANNING
 112 Glenhurst Avenue, Boston, MA 02118-2277
 Tel: 617-357-4148 Fax: 617-357-6188 Web: hwmoore.com



INTRODUCTION

THE PROPOSED PROJECT INCLUDES THE CONSTRUCTION OF A 2-UNIT BUILDING, 13 TO 14 UNITS, A CLUBHOUSE ASSOCIATED PARLOR, LANDSCAPED AREAS, AND A NEW STORMWATER MANAGEMENT SYSTEM. THE STORMWATER MANAGEMENT SYSTEM WILL COMPLY WITH ALL CITY STORMWATER REGULATIONS AND WILL INCLUDE BEST MANAGEMENT PRACTICES (BMP) FOR THE PROPOSED DEVELOPMENT. THE PROPOSED DEVELOPMENT WILL BE ADJACENT TO FRANKLIN STREET AND WILL BE ADJACENT TO FRANKLIN STREET AND WILL BE ADJACENT TO FRANKLIN STREET.

CONSTRUCTION SCHEDULE

- PRIOR TO CONSTRUCTION, STAKED STRAW BALES AND SILTATION FENCE WILL BE PLACED AT THE LIMITS OF WORK, AS INDICATED ON THE SITE PLAN.
- THE SEPARATION OF THE TWO EXISTING BUILDINGS WILL THEN COMMENCE.
- UPON COMPLETION OF THE DEMOLITION WORK, THE SITE SHALL BE CLEARED AND COVERED WITH THE TOPSOIL BENEATH STOCKPILED. THE EXISTING HILL WILL BE RECOVERED WITH THE MATERIAL REMOVED DURING THE DEMOLITION WORK.
- THE SITE WILL BE GRADDED TO THE SUBGRADE ELEVATION USING THE MATERIALS FROM THE HILL.
- THE EXCAVATION WORK FOR THE STORMWATER INFILTRATION/RETENTION SYSTEM WILL THEN COMMENCE.
- THE EXCAVATION WORK FOR THE STORMWATER INFILTRATION/RETENTION SYSTEM WILL THEN COMMENCE AND THE INFILTRATION SYSTEM WILL BE INSTALLED.
- BUILDING FOUNDATION WORK, STORMWATER INFILTRATION/RETENTION SYSTEM AND UTILITY CONSTRUCTION WORK WILL THEN COMMENCE.
- THE EXCAVATION WORK FOR THE WATER QUALITY BASIN WILL COMMENCE.
- ADDITIONAL SILTATION RANGE OR STRAW BALES WILL BE ADDED AS CONSTRUCTION PROCEEDS WHERE REQUIRED TO CONTROL EROSION. SEDIMENTATION CONTROLS SHALL BE MAINTAINED ALONG THE DOWNHILL SIDE OF ALL SOIL STOCKPILES.
- CATCH BASINS SHALL HAVE EITHER STAKED STRAW BALES PLACED AROUND THE GRATE OR HAVE A GEOTEXTILE BAG OR SILT SACK INSTALLED UNTIL THE PAVING AREA IS PAVED.
- THE PAVING SUBGRADE WILL THEN BE GRADED, AND THE GRATE AND THE INLET/OUTLET BASE COURSE PLACED. THIS SHALL BE COMPLETED BEFORE THE ROOF IS INSTALLED AFTER THE SITE IS CLEARED.
- ALL DISTURBED AREAS NOT ALREADY STABILIZED WILL THEN BE COVERED WITH A MINIMUM OF 4 INCHES OF TOPSOIL AND SEEDING.
- THE DRAINAGE SYSTEM SHALL BE COMPLETELY OPERATIONAL PRIOR TO THE BUILDING ROOF DRAINING BEING INSTALLED.
- THE BUILDING ROOF DRAINING WILL BE IN OPERATION IMMEDIATELY AFTER THE ROOF IS COMPLETED.
- ALL DRAINAGE STRUCTURES WILL BE CLEARED UPON COMPLETION OF CONSTRUCTION.
- THE SILTATION CONTROLS SHALL BE REMOVED AFTER THE SITE HAS STABILIZED.

BMP MAINTENANCE SCHEDULE FOR CONSTRUCTED SITE

- INSPECT CATCH BASINS QUARTERLY IF ALL TRIBUTARY AREAS ARE STABILIZED WITH VEGETATION OR MONTHLY IF NOT. CLEAN OUT IF MORE THAN 1/4 FULL OF SEDIMENT (1 FOOT DEEP IN A FOOT GRATE). INSPECT AND CLEAN AS NECESSARY AFTER STORM RAINFALL AND AS SOON AS PRACTICAL AFTER STORM RAINFALL.
- THE INFILTRATION SYSTEM SHOULD BE CHECKED FOR SEDIMENT ON A YEARLY BASIS. A LOG OF THE SEDIMENT DEPTH SHOULD BE MAINTAINED. MEASURE THE SEDIMENT DEPTH VISUALLY BY OPENING THE INSPECTION PORT AND WITH THE USE OF A FLAME CUT AND MEASURING ROD. IF SEDIMENT REACHES A THRESHOLD DEPTH, THE SEDIMENT IS TO BE REMOVED BY WASHING OR JET SPRAY.
- ON A QUARTERLY BASIS, VISUALLY INSPECT THE WATER QUALITY BASIN. CHECK SEDIMENTATION FOR SUBSIDENCE, EROSION, AND CHECKING AND REPAIR AS NECESSARY. CHECK THE CONDITION OF ALL OUTLET STRUCTURES AND CLEAN AS NECESSARY. AFTER THAT MAY CAUSE CLOGGING, ESPECIALLY OF SMALL OUTLETS. INSPECT THE PRESENCE OF ACCUMULATED SEDIMENT IN THE WATER QUALITY BASIN AT THE END OF EACH YEAR. THE SEDIMENT DEPTH OF THE INFILTRATION BASIN SHALL BE MEASURED THICE ANNUALLY DURING THE GROWING SEASON.
- THE COE CHANNELS SHALL BE MAINTAINED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. DURING THE FIRST YEAR THE CHANNELS ARE TO BE MONITORED FOUR TIMES AND THE ATTENDANCE FREQUENCY INCREASES AS THE CHANNELS DEPTH BASED ON THE MEASUREMENTS FROM THE FIRST YEAR. A CLEANING SCHEDULE SHALL BE ESTABLISHED BASED ON AN 8-INCH SEDIMENT DEPTH THRESHOLD.
- KEEP ALL PERVIOUS SITE AREAS STABILIZED AT ALL TIMES. KEEP ANY STOCKPILED EARTH COVERED. REMOVE LEAVES AND TRIMMING FROM SITE.
- VISUALLY INSPECT THE PLACED END OUTLETS TWICE PER YEAR. REPAIR AND REVEGETATE ANY DOWNSTREAM EROSION.
- KEEP PAVING AREAS AT LEAST TWICE PER YEAR. REPAIR AND REVEGETATE ANY DOWNSTREAM EROSION.
- MAINTAIN THE USE OF SAND AND CHEMICALS FOR WATER CLEANING OF PAVEMENT AREAS.
- IT IS ANTICIPATED THAT THE JOHN A. CORCORAN, CO. WILL BE THE OWNER AND RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE SITE. THEIR ADDRESS IS:

ADDITIONAL REQUIREMENTS

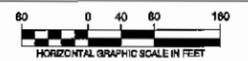
THE CONTRACTOR SHALL EMPLOY MEASURES TO CONTROL DUST DURING CONSTRUCTION. ALL DUSTS SHALL BE PROPERLY CONTAINED AND DISPOSED OF.

FRANKLIN STREET SHALL BE KEPT CLEAR OF ANY SOLIDS TRACKED ONTO THE PAVEMENT FROM VEHICLES EXITING THE SITE.

A SUPPLY OF STRAW BALES AND SILTATION FENCE SHALL BE KEPT ON SITE TO PROVIDE FOR ADDITIONAL SILTATION CONTROL, AS MAY BE REQUIRED. ANY CONSTRUCTION EQUIPMENT OBSERVED LEAVING OR ENTERING THE SITE SHALL BE CLEANED FROM THE SITE. NO CONSTRUCTION EQUIPMENT SHALL BE OPERATED WITHIN 100 FEET OF ANY WETLANDS. TEMPORARY GRASS STABILIZATION SHALL BE APPLIED AT RATE OF APPROXIMATE 30% AND CONFORM TO THE FOLLOWING MIN. SUMMERIZED IN TABLE 1.

TABLE 1
SEED MIXTURE

SEED	MIN.	MAX.
WINTER RYE	4	
RED FESCUE (SEROTIN)	4	
PERENNIAL RYE GRASS	3	
RED CLOVER	3	
OTHER GRASS SEEDS	0.5	
NOODLES WHEAT SEED		0.5
SOFT MATTER		1



REVISIONS

NO.	DATE	DESCRIPTION

DATE: NOV. 12, 2014
SCALE: AS NOTED
SHEET C-9

THE COMMONS AT WEISS FARM
STONEHAM, MASSACHUSETTS

EROSION CONTROL PLAN

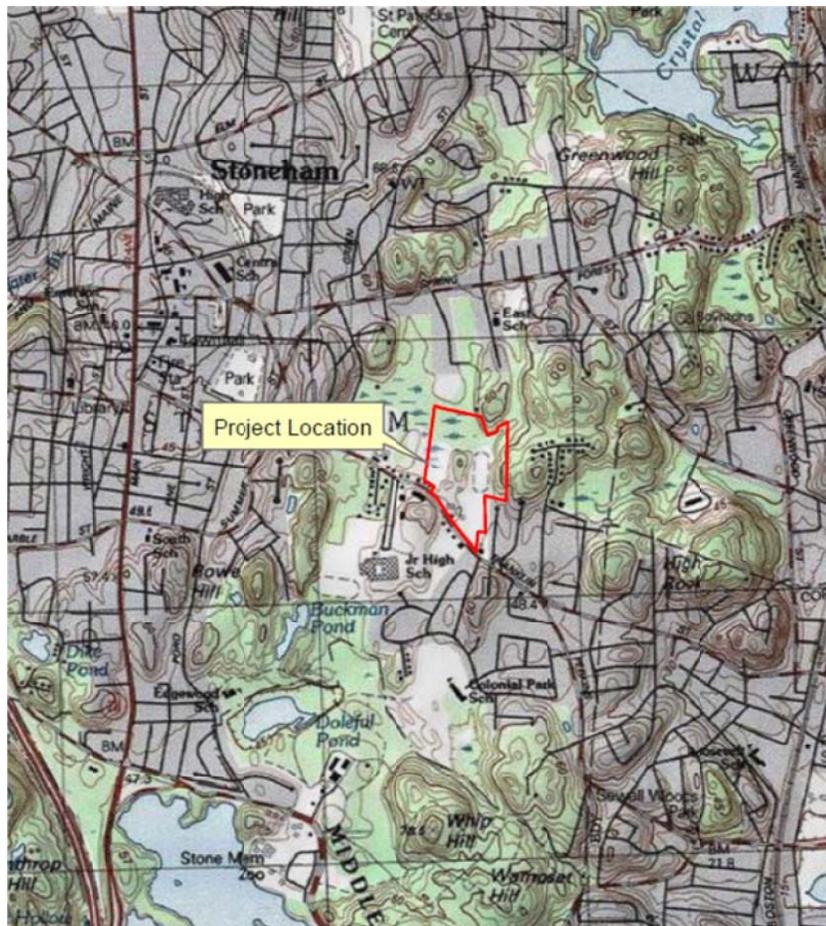
hwmooore
ASSOCIATES, INC.
CIVIL ENGINEER AND LAND PLANNING
112 SHEPHERD AVENUE, BOSTON, MA 02118-2227
TEL: 617-557-6148 FAX: 617-557-2616 WWW.HWMOOORE.COM
9046-035.dwg Scale: 1/8"=1'-0" Date: 11/12/14 12:58 PM

Notice of Intent

Under the Massachusetts Wetlands Protection Act

The Commons at Weiss Farm

170 Franklin Street, Stoneham, Massachusetts



Notice of Intent

Under the Massachusetts Wetlands Protection Act

The Commons at Weiss Farm

Contents

WPA Form 3

ATTACHMENT A PROJECT NARRATIVE

1.0 Introduction and Overview..... 1-2

2.0 Existing Conditions 2-3

 2.1 Wetland Resource Areas.....2-3

 2.2 Soils.....2-4

 2.3 Rare Species.....2-4

3.0 Proposed Project Activities 3-5

4.0 Proposed Stormwater Management 4-6

5.0 Compliance Assessment 5-7

List of Appendices

Appendix A Project Figures

Appendix B Copy of Order of Resource Area Delineation

Appendix C Stormwater Management Report and Project Plans

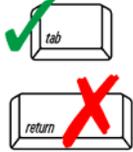


WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number
Document Transaction Number
Stoneham
City/Town

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>170 Franklin Street</u> a. Street Address	<u>Stoneham</u> b. City/Town	<u>02180</u> c. Zip Code
<u>Latitude and Longitude:</u>	<u>42d28m31Ns</u> d. Latitude	<u>071d05m27Ws</u> e. Longitude
<u>Map 8</u> f. Assessors Map/Plat Number	<u>106</u> g. Parcel /Lot Number	

2. Applicant:

<u>c/o Peter</u> a. First Name	<u>Mahoney</u> b. Last Name	
<u>Weiss Farm Apartments LLC</u> c. Organization		
<u>100 Grandview Road, Suite 207</u> d. Street Address		
<u>Braintree</u> e. City/Town	<u>MA</u> f. State	<u>02184</u> g. Zip Code
<u>781-849-7111</u> h. Phone Number	<u>i. Fax Number</u>	<u>pmahoney@corcoranmgmt.com</u> j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

<u>Donna</u> a. First Name	<u>Weiss</u> b. Last Name	
<u>Wiess Farm Inc.</u> c. Organization		
<u>170 Franklin Street</u> d. Street Address		
<u>Stoneham</u> e. City/Town	<u>MA</u> f. State	<u>02180</u> g. Zip Code
<u>h. Phone Number</u>	<u>i. Fax Number</u>	<u>j. Email address</u>

4. Representative (if any):

<u>Dennis</u> a. First Name	<u>Lowry</u> b. Last Name	
<u>AECOM Environment</u> c. Company		
<u>250 Apollo Drive</u> d. Street Address		
<u>Chelmsford</u> e. City/Town	<u>MA</u> f. State	<u>01824</u> g. Zip Code
<u>508-361-1850</u> h. Phone Number	<u>i. Fax Number</u>	<u>dennis.lowry@aecom.com</u> j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>3,150.00</u> a. Total Fee Paid	<u>1,562.50</u> b. State Fee Paid	<u>1,587.50</u> c. City/Town Fee Paid
--------------------------------------	--------------------------------------	--



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Stoneham
City/Town

A. General Information (continued)

6. General Project Description:

Development of a 264 unit rental apartment complex that entails construction of 3 apartment buildings, 5 townhouse buildings, clubhouse, and associated parking, walkways, drives and infrastructures.

7a. Project Type Checklist:

- | | |
|---|---|
| 1. <input type="checkbox"/> Single Family Home | 2. <input checked="" type="checkbox"/> Residential Subdivision |
| 3. <input type="checkbox"/> Limited Project Driveway Crossing | 4. <input type="checkbox"/> Commercial/Industrial |
| 5. <input type="checkbox"/> Dock/Pier | 6. <input type="checkbox"/> Utilities |
| 7. <input type="checkbox"/> Coastal Engineering Structure | 8. <input type="checkbox"/> Agriculture (e.g., cranberries, forestry) |
| 9. <input type="checkbox"/> Transportation | 10. <input type="checkbox"/> Other |

7b. Is any portion of the proposed activity eligible to be treated as a limited project subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project:

2. Limited Project

8. Property recorded at the Registry of Deeds for:

Middlesex

a. County

Book 7706

c. Book

b. Certificate # (if registered land)

469

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet 3. cubic yards dredged	2. square feet



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number
Stoneham

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet _____ 3. cubic feet of flood storage lost _____	2. square feet _____ 4. cubic feet replaced _____
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet _____ 2. cubic feet of flood storage lost _____	3. cubic feet replaced _____
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) _____ 2. Width of Riverfront Area (check one): <input type="checkbox"/> 25 ft. - Designated Densely Developed Areas only <input type="checkbox"/> 100 ft. - New agricultural projects only <input type="checkbox"/> 200 ft. - All other projects	3. Total area of Riverfront Area on the site of the proposed project: _____ square feet 4. Proposed alteration of the Riverfront Area: a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____
5. Has an alternatives analysis been done and is it attached to this NOI? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
6. Was the lot where the activity is proposed created prior to August 1, 1996? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
3. <input type="checkbox"/> Coastal Resource Areas: (See 310 CMR 10.25-10.35)		

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet _____ 2. cubic yards dredged _____	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet _____	2. cubic yards beach nourishment _____
e. <input type="checkbox"/> Coastal Dunes	1. square feet _____	2. cubic yards dune nourishment _____



WPA Form 3 - Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Stoneham
City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Table with columns: Category, Size of Proposed Alteration, Proposed Replacement (if any). Rows include Coastal Banks, Rocky Intertidal Shores, Salt Marshes, Land Under Salt Ponds, Land Containing Shellfish, Fish Runs, Land Subject to Coastal Storm Flowage, Restoration/Enhancement, and Project Involves Stream Crossings.

C. Other Applicable Standards and Requirements

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in Estimated Habitat of Rare Wildlife as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the Massachusetts Natural Heritage Atlas or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. [] Yes [X] No If yes, include proof of mailing or hand delivery of NOI to:

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581-3336

2008
b. Date of map



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:	
MassDEP File Number	_____
Document Transaction Number	_____
Stoneham	_____
City/Town	_____

C. Other Applicable Standards and Requirements (cont'd)

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.C, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.1.d, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

1. c. Submit Supplemental Information for Endangered Species Review*

- 1. Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage
- 2. Assessor's Map or right-of-way plan of site
- 3. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work ***
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site
 - (c) MESA filing fee (fee information available at <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/mass-endangered-species-act-mesa/mesa-fee-schedule.html>). Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address
Projects altering 10 or more acres of land, also submit:
 - (d) Vegetation cover type map of site
 - (e) Project plans showing Priority & Estimated Habitat boundaries

d. OR Check One of the Following

- 1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <http://www.mass.gov/eea/agencies/dfg/dfw/laws-regulations/cmr/321-cmr-1000-massachusetts-endangered-species-act.html#10.14>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)
- 2. Separate MESA review ongoing. _____ a. NHESP Tracking # _____ b. Date submitted to NHESP

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Stoneham
City/Town

C. Other Applicable Standards and Requirements (cont'd)

3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

2. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. Not applicable – project is in inland resource area only

b. Yes No If yes, include proof of mailing or hand delivery of NOI to either:

South Shore - Cohasset to Rhode Island, and the Cape & Islands:

North Shore - Hull to New Hampshire:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
1213 Purchase Street – 3rd Floor
New Bedford, MA 02740-6694

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

3. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?

a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.

b. ACEC

4. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?

a. Yes No

5. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?

a. Yes No

6. Is this project subject to provisions of the MassDEP Stormwater Management Standards?

a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:

1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)

2. A portion of the site constitutes redevelopment

3. Proprietary BMPs are included in the Stormwater Management System.

b. No. Check why the project is exempt:

1. Single-family house

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Stoneham
City/Town

C. Other Applicable Standards and Requirements (cont'd)

- 2. Emergency road repair
- 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

- 1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
- 2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.
- 3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.
- 4. List the titles and dates for all plans and other materials submitted with this NOI.

The Commons at Weiss Farm Conservation Commission Submission Plans C1-C9

a. Plan Title

HW Moore Associates, Inc

James White

b. Prepared By

c. Signed and Stamped by

11/12/2014

1"=40'

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

- 5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
- 6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
- 7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
- 8. Attach NOI Wetland Fee Transmittal Form
- 9. Attach Stormwater Report, if needed.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 - Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Stoneham
City/Town

E. Fees

- Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

1138	12/3/14
2. Municipal Check Number	3. Check date
1137	12/3/14
4. State Check Number	5. Check date
Weiss Farm	Apartments LLC
6. Payor name on check: First Name	7. Payor name on check: Last Name

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

By: Weiss Farm Apartments LLC

1. Signature of Applicant

Donna M. Weiss

3. Signature of Property Owner (if different)

12/3/14

2. Date

12/4/14

4. Date

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

Weiss Farm Apartments LLC



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

170 Franklin Street

a. Street Address

Stoneham

b. City/Town

c. Check number

d. Fee amount

2. Applicant Mailing Address:

Dennis

a. First Name

Lowry

b. Last Name

AECOM Environment

c. Organization

250 Apollo Drive

d. Mailing Address

Chelmsford

e. City/Town

MA

f. State

01824

g. Zip Code

508-361-1850

h. Phone Number

i. Fax Number

dennis.lowry@aecom.com

j. Email Address

3. Property Owner (if different):

Donna

a. First Name

Weiss

b. Last Name

c. Organization

170 Franklin Street

d. Mailing Address

Stoneham

e. City/Town

MA

f. State

02180

g. Zip Code

h. Phone Number

i. Fax Number

j. Email Address

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category 3 a.)	3	1,050.00	3,150.00
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

Step 5/Total Project Fee: _____

Step 6/Fee Payments:

Total Project Fee:	<u>\$3,150.00</u>
	a. Total Fee from Step 5
State share of filing Fee:	<u>\$1,562.50</u>
	b. 1/2 Total Fee less \$12.50
City/Town share of filing Fee:	<u>\$1,587.50</u>
	c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

1.0 Introduction and Overview

On behalf of Weiss Farm Apartments LLC (the Applicant), and in cooperation with HW Moore Associates, Inc., AECOM Environment is submitting this Notice of Intent (NOI) and accompanying materials to the Stoneham Conservation Commission pursuant to the Massachusetts Wetlands Protection Act (WPA) and its implementing Regulations, 310 CMR 10.00, for the proposed residential development of the Commons at Weiss Farm, a proposed 264 unit rental apartment community at 170 Franklin Street in Stoneham, Massachusetts (the Project). The Site Locus map (Figure 1) depicts the general location of the project. The proposed Project entails the construction of three apartment buildings, five townhouse buildings, a clubhouse, associated parking, walk ways, drives, landscaping and stormwater management systems. The Project will be constructed within an area of long-term use for agricultural/landscaping purposes, and the proposed area of development is largely disturbed from these past and ongoing activities. There will be no disturbance of any wetland resource area as defined by the WPA and its Regulations.

Currently the site is partially developed and consists of a single parcel of land totaling approximately 25.7 acres. The site is situated along the north side of Franklin Street west of Ellen Road in the northeastern portion of Stoneham and is operated by Weiss Farm Inc. mainly as a loan and mulch operation. The existing farm house and one of the barn buildings are not part of the proposed Project. Two of the barn buildings straddle the property line and would be demolished as part of the proposed project. A man-made ditch, constructed circa 1950's by the Army Corps of Engineers, was excavated around the perimeter of the farm area and is considered part of the jurisdictional wetland resources on the site. Other jurisdictional wetlands are located southeast, north and northwest and occupy approximately 12 acres of the 25.7 acre site. The central section of the site consists of approximately 10.2 acres of uplands that has been the focus of the past and ongoing agricultural/landscaping land uses, and this area is proposed to be occupied by the proposed development. An existing footpath and bridge, located at the northeast corner, will be upgraded with stone-dust and will provide pedestrian access to upland open space in the eastern portion of the site. The footpath upgrade is the only proposed disturbance within 25-feet of approved wetland boundaries.

The Stoneham Conservation Commission issued an Order of Resource Area Delineation (ORAD) on February 15, 2012 confirming the extent and type of wetland resources on the site (see Appendix B). These approved statutory wetland boundaries are carried forward on the current NOI plans.

Significant attention and consideration has been given to proper management of stormwater runoff from the Project site. The unique site-specific characteristics and hydrologic setting has been carefully studied to develop a comprehensive plan that fully utilizes and recognizes these attributes. Disposition of stormwater has been considered, with respect to its peak rate, total volume and water quality aspects, to ensure appropriate mitigation upon Project completion. The proposed stormwater management system has been designed in full compliance with the Massachusetts Stormwater Standards, and will ensure that the quantity and quality of stormwater runoff from the site will be appropriately treated. Erosion and sediment control measures will be implemented during construction, and landscaping improvements within the buffer zone will contribute to ensuring indirect impacts to the site's wetlands will be mitigated.

2.0 Existing Conditions

2.1 Wetland Resource Areas

On February 15, 2012, the Stoneham Conservation Commission issued an ORAD which confirmed the extent and types of specific wetland resource areas on the site. The ORAD was issued after several months of detailed investigations of the site's wetland resource areas, including a review by a Professional Wetland Scientist retained by the Conservation Commission. The ORAD defined the limits of Bordering Vegetated Wetlands (BVW) on the site, and classified the drainage ditch passing through the site as an intermittent stream. The ORAD did not define the limits of Bordering Land Subject to Flooding (BLSF, or the 100-year floodplain) or the limits of Inland Bank on the site. The definitions and status of these resource areas on the site are described below.

Bordering Vegetated Wetland (310 CMR 10.55)

The BVW which comprises most of the delineated wetland resource area on the site encompasses much of the western and northern portions of the site; additional BVW occurs in the southeast portion of the site. These BVW areas are linked hydrologically by the excavated ditch that extends from the west to the north and east/southeast parts of the site. BVW areas on the site vary in vegetated cover from wet meadow, shallow emergent marshes, shrub swamps to mature forested wetland. Plant species observed in the emergent wetland areas (wet meadow and marsh) include cattail, sedges, purple loosestrife, soft rush, woolgrass, bulrush, sensitive fern, jewelweed, joe-pye weed, blue vervain, reedgrass, and aster. Common shrub swamp plant species observed include willow, dogwood, red maple, multiflora rose, and buckthorn. The forested wetland comprising much of the northern part of the site is dominated by red maple, with an understory of shrubs such as sweet pepperbush, highbush blueberry, swamp azalea, and dogwood, and an herbaceous layer of cinnamon fern, sensitive fern, and skunk cabbage.

Inland Bank of Intermittent Stream (310 CMR 10.54)

As established through the ANRAD/ORAD process, the ditch excavated through the site is classified as an intermittent stream. By definition, the Bank extends from the mean annual low water level up to either the first observable break in the slope or the mean annual flood level, whichever is lower. Due to the excavated/ditched condition of the intermittent stream, there is little difference in the horizontal location of these two parameters. The mean annual flood level on the site is typically controlled by a pump station located in the southeast part of the site adjacent to Franklin Street. The pump station was installed in the 1950's as part of the US Army Corps of Engineers efforts to rectify drainage issues that were created by the Town of Stoneham's upgrades to Franklin Street; that reconstruction included installing culverts under Franklin Street at too high of an elevation to allow unimpeded flow from the site. The mean annual flood level is likely below the first observable break in slope along the ditch, which is essentially the top of the ditch. However, since the edge of the excavated ditch is very well defined, from a practicable application this well-defined edge of the ditch appropriately serves as the Bank. Note that under strict regulatory interpretation, an intermittent stream can be considered to have just one center-line Bank, since the mean annual low water level (i.e., the edge between Bank and Land Under Water) is downstream of the intermittent reach of the stream. However, for the

purposes of this application, the Bank has conservatively been considered to be the edge of the physically-defined ditch. As noted in the December 20, 2011 report from the Conservation Commission's reviewer (REC) during the ANRAD review, there are only two locations where this limit of Bank serves as the limit of wetland resource area: from flags A19-A25 and B9-B13 there is no BVW along the ditch, and thus this defined Bank/edge of ditch serves as the wetland resource area limit and inner edge of the buffer zone at these two locations.

Bordering Land Subject to Flooding (310 CMR 10.57)

The boundary of Bordering Land Subject to Flooding is the estimated maximum lateral extent of flood water which will theoretically result from the statistical 100-year frequency storm. Per 310 CMR 10.57, said boundary shall be that determined by reference to the most recently available flood profile data prepared for the community within which the work is proposed under the National Flood Insurance Program (NFIP, currently administered by the Federal Emergency Management Agency, successor to the U.S. Department of Housing and Urban Development). Said boundary, so determined, shall be presumed accurate. This presumption may be overcome only by credible evidence from a registered professional engineer or other professional competent in such matters. Where NFIP Profile data is unavailable, the boundary of Bordering Land Subject to Flooding shall be the maximum lateral extent of flood water which has been observed or recorded. In the event of a conflict, the issuing authority may require the applicant to determine the boundary of Bordering Land Subject to Flooding by engineering calculations.

As established through the ANRAD process, the FEMA Flood Insurance Rate Map (FIRM) does not indicate any portion of the site to be within an area subject to flooding during a 100-year storm event, and therefore it is presumed by Regulation that there is no BLSF on the site. To be conservative, and per the Regulatory directive noted above, information developed from observations of the site indicate that an elevation of 163.65 feet (NAD 88) could be used to delineate the "maximum lateral extent of floodwater which has been observed or recorded" on the site.

2.2 Soils

According to the Natural Resources Conservation Service Web Soil Survey the area of the proposed work is located within soil units identified as Hollis-rock outcrop-Charlton complex and Udorthents wet substratum (Figure 2). Hollis-rock outcrop-Charlton complex is a well-drained soil with a water table at more than 80 inches deep and typically found on hill sides. Udorthents, wet substratum soil unit, has a water table at more than 80 inches from the ground surface.

2.3 Rare Species

The 2008 Massachusetts Natural Heritage and Endangered Species Program (NHESP) online mapping (MassGIS) was consulted during the preparation of this request. According to this source, the proposed project area is not located within Priority Habitat or Estimated Habitat of Rare Species (Figure 3). Further, on-site investigations have not encountered any such species or the likely habitats of any state-listed species pursuant to the Massachusetts Endangered Species Act (MESA).

3.0 Proposed Project Activities

The proposed site development will include the construction of three apartment buildings, five townhouse buildings and a clubhouse building with associated parking, drives, landscaping and stormwater management systems. There will be no disturbance of any wetland resource area. The only disturbance within twenty-five feet of a wetland area will be a stone dust foot path which will cross the drainage channel at an existing bridge, which would be improved, and will provide access to the upland open space on the opposite side of the drainage channel. Disturbances beyond twenty-five feet of the wetland boundary will be in areas that largely have been subject to long-term use for the agricultural/landscaping operation at the site. Erosion and sediment control measures are proposed for work on the site to ensure adequate construction-phase protection of the wetland resource areas. The proposed project will comply with all requirements of the Massachusetts Wetlands Protection Act, including the Massachusetts Stormwater Management Standards, thereby ensuring adequate protection of all wetland resource areas post-construction of the Project.

The project will have approximately 42,000 square feet of open space in the areas between buildings "A", "B" and the Clubhouse as well as in the courtyard area at Building "C". These two areas will provide 1,200 linear feet of walks, benches, a pool and associated patio, barbeque areas with tables, pergolas, other active recreation activities and landscaping. In addition to this space, there will be a pedestrian foot path to the open field in the northeasterly portion of the site on the opposite side of the drainage channel. Access over the channel is provided by an existing pedestrian bridge. This path is approximately 900 feet long and provides access to a three acre open space upland area. In total, about 15.5 acres of the 25.7 acre parcel will not be disturbed during construction.

Landscaping of the Project area will be substantial. In particular, more than 75 trees will be planted around the perimeter of the Project area within the buffer zone of the wetland resource areas. Since most of these areas are currently devoid of such growth, the addition of these trees will contribute to the long-term provision of multiple functions provided by woody vegetation in the buffer zone.

4.0 Proposed Stormwater Management

The proposed stormwater management system has been designed in accordance with the Massachusetts Department of Environmental Protection's (DEP) Stormwater Management Standards to ensure that the post-developed condition will have no adverse impacts related to surface runoff stormwater quality or quantity and groundwater recharge volume and quality. The stormwater system will include deep sump catch basins with oil trap hoods, proprietary stormwater treatment devices, infiltration systems and a detention basin. The stormwater system will mitigate the peak rates of stormwater runoff by utilizing both above grade and below grade detention/infiltration systems. Both the above and below grade detention basins will mitigate peak flows by restricting the amount of stormwater leaving the basins to a predetermined rate. A small orifice is used to control the rate. The below grade detention systems will consist of rows of chambers surrounded by crushed stone below the parking areas. These chambers are open on the bottom to allow for stormwater recharge. The project will recharge groundwater to maintain or exceed existing conditions in accordance with DEP Stormwater Guidelines. The project will also remove in excess of eighty percent suspended solids with deep sump hooded catch basins, proprietary stormwater treatment devices, and below-grade infiltration systems. The project therefore will meet or exceed all DEP stormwater management regulatory requirements, and will have no detrimental impact to either the adjacent wetlands or groundwater quality/quantity.

In accordance with the DEP's Stormwater Management Standards, the annual recharge from the post-development site will approximate the annual recharge from pre-development conditions based on soil type. This standard is met when the stormwater management system is designed to infiltrate the required recharge volume as determined in accordance with the Massachusetts Stormwater Handbook. The project will utilize four sub-surface recharge systems and one surface water quality basin for groundwater recharge. The subsurface recharge systems will include rows of underground chambers surrounded by crushed stone. The chambers will be open at the bottom to allow for the stormwater that enters the chambers to flow into the crushed stone and infiltrate into the existing soil below the recharge system. Information collected from extensive on site test pits and borings within the central development area show that the underlying soil conditions consist mostly of a glacial outwash material containing stratified dense silty sand, with the exception of the hill area, which has bedrock close to the ground surface. The recharge systems have been sized and designed in accordance with the DEP Stormwater Handbook, accounting for anticipated stormwater runoff based on the project design and site conditions, and therefore there will be no reduction in groundwater recharge and no detrimental impact on groundwater recharge either within the development site or the immediately surrounding area.

5.0 Compliance Assessment

As indicated above, the Project will not involve any work within any regulated wetland resource area. This includes all wetland resource areas confirmed by the issuance of the ORAD, as well as the conservatively indicated limit of BLSF as described above. Consequently, all performance standards set forth in 310 CMR 10.00 for work within wetland resource areas are fully complied with. There are no specific performance standards for work with the 100-foot buffer zone. Work proposed within the buffer is largely confined to portions of the site subject to long-term use for the landscaping/agricultural operation. All work for the Project's construction will be set back at least 25 feet from the wetland resource area limits, and sediment/erosion control measures will be implemented at the limit of site construction activities to ensure that indirect impacts to the wetland resource areas will not occur. Implementation of stormwater management measures in full compliance with the MADEP Stormwater Management Standards will also serve to protect wetland resource areas.

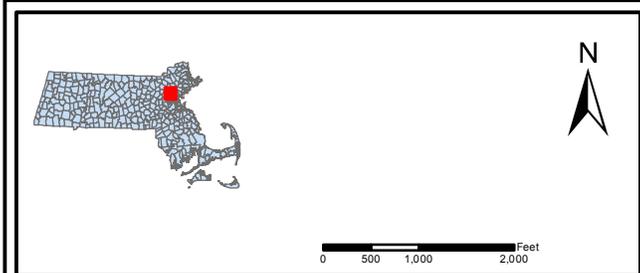
The site is not known to have any documented use by state-listed species pursuant to MESA, nor are any certified or potential vernal pools identified on the site. The central development area of the proposed project consists of an area that presently is being used mostly for stockpiling and the processing of top soil and mulch, with the remainder of the area being a small hill. The development area is presently not a wildlife corridor and has little to no opportunity for providing significant wildlife habitats. Wildlife habitats on the existing site are limited by the long-standing agricultural/landscaping uses, which largely overlap with the proposed development area, and are limited to the wetland areas, which will remain undisturbed. About 15.5 acres, or 60% of the parcel, will be completely undisturbed by the proposed development, and therefore will continue to provide for a wildlife habitat in a manner comparable to the current conditions. The project will have no detrimental impact on wildlife habitats either within the development site or in adjacent areas.

Appendix A

Project Figures

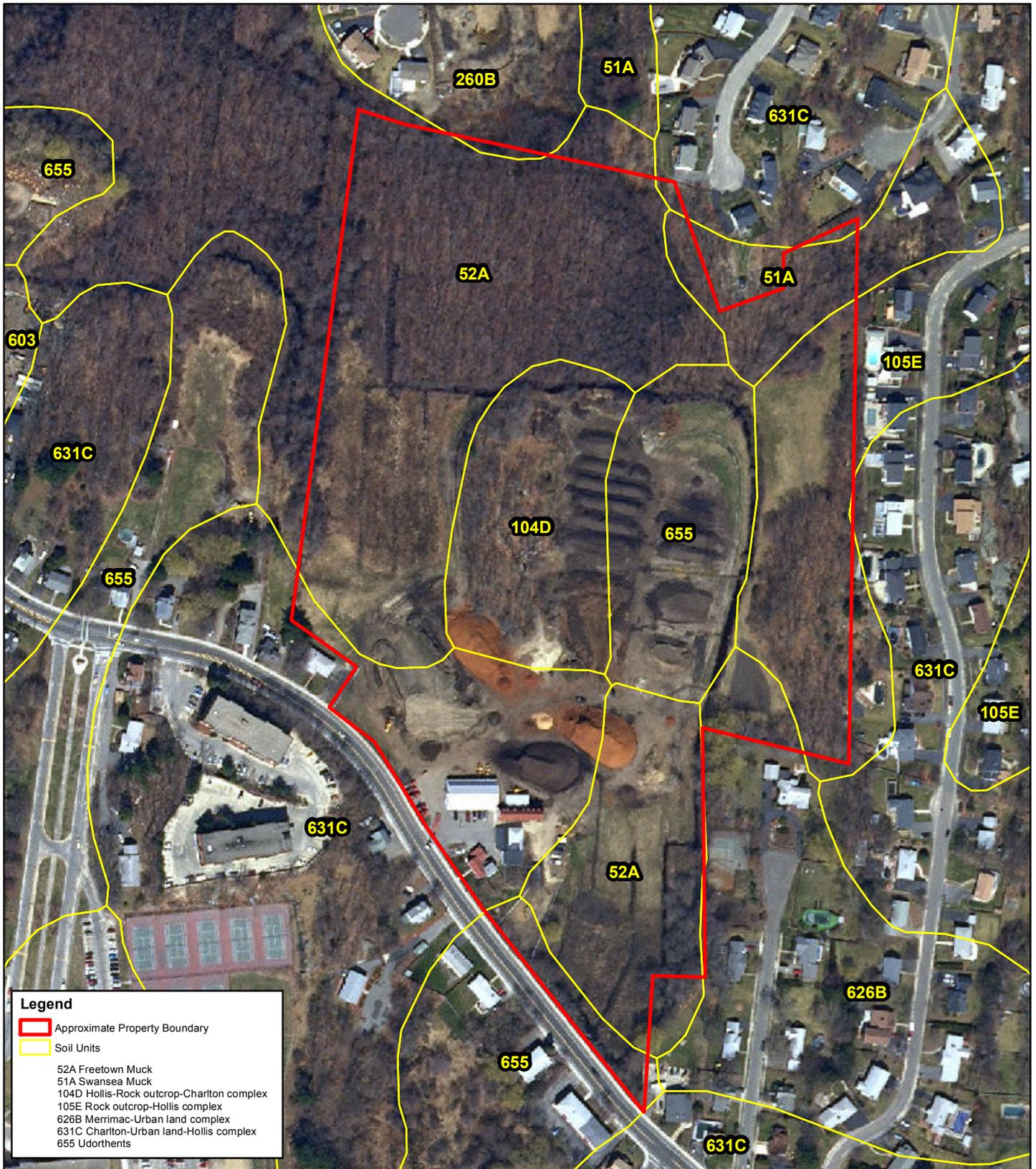


Copyright © 2013 National Geographic Society, I-cubed



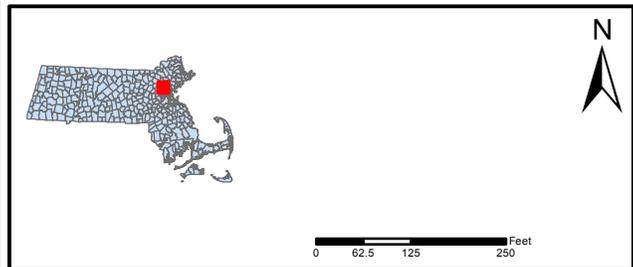
Site Locus		
170 Franklin St. Stoneham, MA		
SCALE	DATE	PROJECT NO.
1:2400	10/14	60331761

AECOM
Figure Number
1



Legend

- ▭ Approximate Property Boundary
- ▭ Soil Units
- 52A Freetown Muck
- 51A Swansea Muck
- 104D Hollis-Rock outcrop-Charlton complex
- 105E Rock outcrop-Hollis complex
- 626B Merrimac-Urban land complex
- 631C Charlton-Urban land-Hollis complex
- 655 Udorthents



Soil Map		
170 Franklin St. Stoneham, MA		
SCALE	DATE	PROJECT NO.
1:500	10/14	60331761

AECOM

Figure Number

2




Legend

- ★ Potential Vernal Pools
- ★ Certified Vernal Pools
- ▨ NHESP Priority Habitats of Rare Species
- ▨ NHESP Estimated Habitats of Rare Wildlife

0 125 250 500 Feet



Natural Heritage Endangered Species Map
170 Franklin St.
Stoneham, MA

SCALE	DATE	PROJECT NO.
1:500	10/14	60331761

AECOM

Figure Number

3

Appendix B

Copy of Order of Resource Area Delineation



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

297-0355

MassDEP File Number

**WPA Form 4B – Order of Resource Area
Delineation**

eDEP Transaction Number

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

City/Town

A. General Information

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

From: Stoneham Conservation Commission
1. Conservation Commission

2. This Issuance is for (check one):

- a. Order of Resource Area Delineation
b. Amended Order of Resource Area Delineation

3. Applicant:

Donna Weiss
a. First Name b. Last Name
Weiss Farm Inc.
c. Organization
170 Franklin Street
d. Mailing Address
Stoneham MA 02180
e. City/Town f. State g. Zip Code

4. Property Owner (if different from applicant):

a. First Name b. Last Name
c. Organization
d. Mailing Address
e. City/Town f. State g. Zip Code

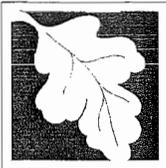
5. Project Location:

170 Franklin Street Stoneham 02180
a. Street Address b. City/Town c. Zip Code
Map 8 106
d. Assessors Map/Plat Number e. Parcel/Lot Number
Latitude and Longitude (in degrees, minutes, seconds): 42d28m31Ns 071d05m27Ws
f. Latitude g. Longitude

6. Dates: 10/21/2011 January 25, 2012 February 15, 2012
a. Date ANRAD filed b. Date Public Hearing Closed c. Date of Issuance

7. Title and Date (or Revised Date if applicable) of Final Plans and Other Documents:

"Exhibit Plan of Land in Stoneham, MA - 170 Franklin Street - Weiss Farm" January 5, 2012
a. Title b. Date
c. Title d. Date



WPA Form 4B – Order of Resource Area Delineation

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Order of Delineation

1. The Conservation Commission has determined the following (check whichever is applicable):

a. **Accurate:** The boundaries described on the referenced plan(s) above and in the Abbreviated Notice of Resource Area Delineation are accurately drawn for the following resource area(s):

1. Bordering Vegetated Wetlands
2. Other resource area(s), specifically:

a. _____

b. **Modified:** The boundaries described on the plan(s) referenced above, as modified by the Conservation Commission from the plans contained in the Abbreviated Notice of Resource Area Delineation, are accurately drawn from the following resource area(s):

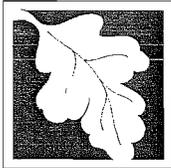
1. Bordering Vegetated Wetlands
2. Other resource area(s), specifically:

a. It shall be noted that the ANRAD does not define the limits of Bordering Land Subject to Flooding or limits of Inland Bank at the site. This information will be submitted as part of a Notice of Intent, if the Applicant files one. Further, based on information submitted by the Applicant, the stream passing through the site was determined to be intermittent.

c. **Inaccurate:** The boundaries described on the referenced plan(s) and in the Abbreviated Notice of Resource Area Delineation were found to be inaccurate and cannot be confirmed for the following resource area(s):

1. Bordering Vegetated Wetlands
2. Other resource area(s), specifically:

3. The boundaries were determined to be inaccurate because:



WPA Form 4B – Order of Resource Area Delineation

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

297-0355

MassDEP File Number

eDEP Transaction Number

City/Town

C. Findings

This Order of Resource Area Delineation determines that the boundaries of those resource areas noted above, have been delineated and approved by the Commission and are binding as to all decisions rendered pursuant to the Massachusetts Wetlands Protection Act (M.G.L. c.131, § 40) and its regulations (310 CMR 10.00). This Order does not, however, determine the boundaries of any resource area or Buffer Zone to any resource area not specifically noted above, regardless of whether such boundaries are contained on the plans attached to this Order or to the Abbreviated Notice of Resource Area Delineation.

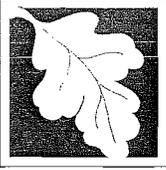
This Order must be signed by a majority of the Conservation Commission. The Order must be sent by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate DEP Regional Office (see <http://www.mass.gov/dep/about/region/findyour.htm>).

D. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate DEP Regional Office to issue a Superseding Order of Resource Area Delineation. When requested to issue a Superseding Order of Resource Area Delineation, the Department's review is limited to the objections to the resource area delineation(s) stated in the appeal request. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order of Resource Area Delineation will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order or Determination, or providing written information to the Department prior to issuance of a Superseding Order or Determination.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act, (M.G.L. c. 131, § 40) and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal bylaw or ordinance, and not on the Massachusetts Wetlands Protection Act or regulations, the Department of Environmental Protection has no appellate jurisdiction.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 4B – Order of Resource Area Delineation

Provided by MassDEP:

297-0355

MassDEP File Number

eDEP Transaction Number

City/Town

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

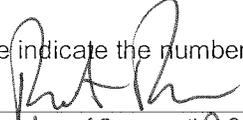
E. Signatures

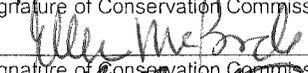
February 15, 2012

Date of Issuance

Please indicate the number of members who will sign this form.

1. Number of Signers


 Signature of Conservation Commission Member


 Signature of Conservation Commission Member


 Signature of Conservation Commission Member


 Signature of Conservation Commission Member


 Signature of Conservation Commission Member


 Signature of Conservation Commission Member

Signature of Conservation Commission Member

This Order is valid for three years from the date of issuance.

If this Order constitutes an Amended Order of Resource Area Delineation, this Order does not extend the issuance date of the original Final Order, which expires on _____ unless extended in writing by the issuing authority.

This Order is issued to the applicant and the property owner (if different) as follows:

2. By hand delivery on

3. By certified mail, return receipt requested on

February 15, 2012

a. Date

a. Date



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
Request for Departmental Action Fee Transmittal Form
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

A. Request Information

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Person or party making request (if appropriate, name the citizen group's representative):

Name

Mailing Address

City/Town

State

Zip Code

Phone Number

Fax Number (if applicable)

Project Location

Mailing Address

City/Town

State

Zip Code

2. Applicant (as shown on Notice of Intent (Form 3), Abbreviated Notice of Resource Area Delineation (Form 4A); or Request for Determination of Applicability (Form 1)):

Name

Mailing Address

City/Town

State

Zip Code

Phone Number

Fax Number (if applicable)

3. DEP File Number:

B. Instructions

1. When the Departmental action request is for (check one):

- Superseding Order of Conditions
- Superseding Determination of Applicability
- Superseding Order of Resource Area Delineation

Send this form and check or money order for \$100.00 (single family house projects) or \$200 (all other projects), payable to the *Commonwealth of Massachusetts* to:

Department of Environmental Protection
Box 4062
Boston, MA 02211



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
Request for Departmental Action Fee Transmittal Form
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Instructions (cont.)

2. On a separate sheet attached to this form, state clearly and concisely the objections to the Determination or Order which is being appealed. To the extent that the Determination or Order is based on a municipal bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.
3. Send a **copy** of this form and a **copy** of the check or money order with the Request for a Superseding Determination or Order by certified mail or hand delivery to the appropriate DEP Regional Office (see <http://www.mass.gov/dep/about/region/findyour.htm>).
4. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Appendix C

Stormwater Management Report and Project Plans (bound separately)