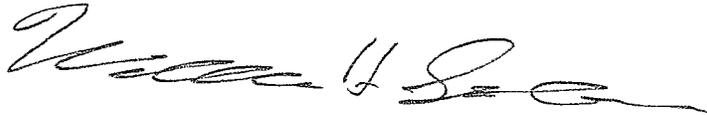


TOWN OF
STONEHAM
MASSACHUSETTS 02180

319 MAIN STREET
STONEHAM, MA 02180
(781) 438-4543

TOWN COUNSEL
WILLIAM H. SOLOMON, ESQ.

To: Ronald Florino
Town Accountant

From: William H. Solomon
Town Counsel 

Date: June 24, 2014

Subject: Payments to Stoneham Community Access, Inc. from Comcast and Verizon
PEG Operating and Capital Payments to the Town

As discussed, please make the following payments to Stoneham Community Access, Inc.:

1. From Comcast Operating Payment (included in Check No. 510518635,
May 1, 2014) - 90% of the operating payment amount of \$68,054.87..... **\$61,249.** ³⁸ *RAF*
(See Attachment A)
2. From Comcast Capital Payment (included in Check No. 510518635,
May 1, 2014) – 100% of the capital payment amount of \$6,805.49..... **\$6,805.49**
(See Attachment A)
3. From Verizon Operating Payment (Check No. 1231005436, May 6, 2014) –
90% of the operating payment of \$54,916.79..... **\$49,425.11** *RAF*
(See Attachment B)
4. From Verizon Capital Payment (Check No. 1226015562, June 16, 2014) -
from the payment of \$43,333.33 - \$17,666.67 goes to Stoneham Access
of which Stoneham Access must pay \$5,000 to the Stoneham Public
Schools..... **\$17,666.67**
(See Attachment C)

I am bringing this over to you now to review together and for payment processing this date. Thank you very much for your assistance, as always. .

Enclosures
cc: Board of Selectmen's Office Manager
Town Administrator



Comcast Cable Communications, Inc.
12 Tozer Road
Beverly, MA 01915
978.927.5700 Tel
978.927.6074 Fax
www.comcast.com

Appendix A

May 13, 2014

Board of Selectmen
Town of Stoneham
35 Central Street
Stoneham, MA 02180

Dear Members of the Board:

Enclosed please find a check in the amount of \$74,860.36 in payment of PEG Access Annual Support for the first quarter of the calendar year 2014. This payment is being made pursuant to Sections 6.4 (a) and 6.5 (a) of the Stoneham Renewal License, and includes both operating and capital funding. Related statements of revenues are also enclosed.

Please feel free to contact me at (978) 927-5700, extension 43024, should you have any questions about this PEG Access payment.

Very truly,

Jane M. Lyman
Senior Manager of Government and Regulatory Affairs

Enclosures

Appendix A



COMCAST FINANCIAL AGENCY CORPORATION
 A Comcast Cable Communications Group Company
 1701 JFK Boulevard
 Philadelphia, PA 19103-2838

14063992

PAGE: 1 of 1

DATE: May 1, 2014
 CHECK NUMBER: 510518635
 AMOUNT PAID: \$74,860.36



00710 CKS EA 14121 - 0510518635 HNNNNNNNNNN 1215100005009 X193AL C
 STONEHAM TOWN OF
 35 CENTRAL ST
 BOARD OF SELECTMEN
 STONEHAM MA 02180



VENDOR NUMBER: 203193

VENDOR: STONEHAM TOWN OF

INVOICE NO.	INVOICE DATE	ACCOUNT NUMBER	DESCRIPTION	DISCOUNT AMOUNT	NET AMOUNT
154771	03/31/14		62717656-Stoneham MA	\$0.00	\$6,805.49
154555	03/31/14		305162-Stoneham MA	\$0.00	\$68,054.87
			TOTALS	\$0.00	\$74,860.36

PLEASE DETACH BEFORE DEPOSITING CHECK



COMCAST FINANCIAL AGENCY CORPORATION
 A Comcast Cable Communications Group Company
 1701 JFK Boulevard
 Philadelphia, PA 19103-2838

CHECK NUMBER 510518635

56-1544
441

May 1, 2014

*** VOID AFTER 180 DAYS ***

PAY TO THE ORDER OF: STONEHAM TOWN OF
 35 CENTRAL ST
 BOARD OF SELECTMEN
 STONEHAM, MA 02180

CHECK AMOUNT

\$74,860.36

EXACTLY *****74,860 DOLLARS AND 36 CENTS

JPMorgan Chase Bank, N.A.
 Columbus, OH



SECURITY FEATURES
 INCLUDED:
 SEE DETAILS ON BACK

Catherine Grogan

Authorized Signature

⑈ 510518635⑈ ⑆044115443⑆

675528343⑈



System Name: Comcast of Massachusetts/New Hampshire, LLC
Email: Patrick_Moore@cable.comcast.com
Phone: 610-650-2999

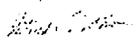
Vendor ID: 203193
Contract Name: Stoneham MA
Statement Period: Jan - Mar, 2014
Payment Amount: \$68,054.87
Statement Number: 154555
CUID: None
System ID: 8773-1000-0720, 8773-1000-2540

STONEHAM TOWN OF
35 CENTRAL ST
BOARD OF SELECTMEN
STONEHAM, MA, 02180

This statement represents your payment for the period listed above.

Revenue Category	Amount
Expanded Basic Video Service	\$484,755.59
Limited Basic Video Service	\$159,677.28
Digital Video Service	\$306,689.62
Pay	\$147,744.47
PPV / VOD	\$56,712.10
Video Equipment	\$3,858.99
Digital Video Equipment	\$59,371.25
Video Installation / Activation	\$9,336.39
Franchise Fees	\$76,918.41
PEG Fees	\$2,316.93
Guide	\$298.06
Other	\$5,149.33
Late Fees	\$2,581.33
Write-offs / Recoveries	(\$3,646.73)
Ad Sales	\$43,290.63
Home Shopping Commissions	\$6,042.12
Total	\$1,361,095.77
Franchise Fee %	5.00 %
Franchise Fee	\$68,054.87

To the best of my knowledge and belief, the above is a true and correct statement for the accounting of the gross revenues received by this corporation for the period.



Pat Moore
Analyst



System Name:

Email: Patrick_Moore@cable.comcast.com

Phone: 610-650-2999

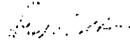
Vendor ID:	203193
Contract Name:	Stoneham MA
Statement Period:	Jan - Mar, 2014
Payment Amount:	\$6,805.49
Statement Number:	154771
CUID:	0
System ID:	8773-1000-2540, 8773-1000-0720

STONEHAM TOWN OF
 35 CENTRAL ST
 BOARD OF SELECTMEN
 STONEHAM, MA, 02180

This statement represents your payment for the period listed above.

Revenue Category	Amount
Expanded Basic Video Service	\$484,755.59
Limited Basic Video Service	\$159,677.28
Digital Video Service	\$306,689.62
Pay	\$147,744.47
PPV / VOD	\$56,712.10
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Guide	\$298.06
Other	\$5,149.33
Late Fees	\$2,581.33
Write-offs / Recoveries	(\$3,646.73)
Ad Sales	\$43,290.63
Home Shopping Commissions	\$6,042.12
Total	\$1,361,095.77
Capital %	0.50 %
Capital	\$6,805.49

To the best of my knowledge and belief, the above is a true and correct statement for the accounting of the gross revenues received by this corporation for the period.



 Pat Moore
 Analyst

Appendix B

Vendor No. 300005062 Our Account With You Check No. 1231005436
Vendor Name TOWN OF STONEHAM Payment Doc. No. 2000005301 Check Date 05/06/2014

Date	Invoice No.	Doc No.	Gross	Discount	Net
05/05/2014	36559FIOS 36559FIOS Video Payment	1900015662	54,916.79	0.00	54,916.79

Check Total 54,916.79

1231

Please call 972-718-5090 if there are questions regarding this payment

PAGE 1 / 1

For further payment information visit our web site at

FOLD ALONG PERFORATED DOTTED LINE & REMOVE CHECK

THIS DOCUMENT CONTAINS MULTIPLE FRAUD/DETERRENT SECURITY FEATURES - SEE REVERSE

verizon 56-156/531

Date: 05/06/2014 Check No. 1231005436

PAY EXACTLY *** FIFTY-FOUR THOUSAND NINE HUNDRED SIXTEEN USD and SEVENTY-NINE Cents *** \$*****54,916.79*

1231

TO THE TOWN OF STONEHAM
ORDER OF

Wells Fargo Bank, N.A. **Verizon Treasury**

⑆1231005436⑆ ⑆05310156⑆ 8018013196⑆

Security Features included. Details on back.

Appendix B

PEG Grant Report 1st Quarter 2014

Town of Stoneham

Verizon - fBA

Massachusetts

PEG Fee Rate: 5.00%

	January	February	March
Monthly Recurring Cable Service Charges (e.g. Basic, Enhanced Basic, Premium and Equipment Rental)	\$352,167.27	\$347,841.58	\$347,928.59
Usage Based Charges (e.g. PayPer View, Installation)	\$19,671.29	\$17,133.84	\$16,965.68
Advertising	\$8,555.04	\$5,857.89	\$5,685.28
Home Shopping	\$1,641.77	\$1,378.68	\$488.31
Late Payment	\$610.90	\$622.93	\$564.94
Other Misc. (Leased Access & Other Misc.)	\$10,123.43	\$3,396.47	\$4,197.90
License Fee Billed	\$0.00	\$0.00	\$0.00
PEG Fee Billed	\$19,595.92	\$19,139.28	\$19,112.85
Less:			
Bad Debt	(\$2,759.64)	\$813.76	(\$5,054.12)
Total Receipts Subject to PEG Fee Calculation	\$409,605.98	\$396,184.43	\$389,889.44
PEG Grant Before Adjustment	\$20,480.30	\$19,809.22	\$19,494.47
Adjustment	\$0.00	\$0.00	(\$4,867.20)
PEG Grant	\$20,480.30	\$19,809.22	\$14,627.27

Verizon New England Inc. is hereby requesting that this information be treated as confidential and proprietary business information under the terms of the Cable Television Final License granted to Verizon New England Inc. This information is not otherwise readily ascertainable by proper means by other persons from another source in the same configuration as provided herein, would cause substantial harm to Verizon in the highly competitive video marketplace if disclosed, is intended to be proprietary confidential business information and is being disclosed only to you for the purposes stated above.

████████████████████
████████████████████
████████████████████

████████████████████ Quarter Total
████████████████████ \$1,047,937.44

████████████████████ \$53,770.81

████████████████████ \$20,098.21

████████████████████ \$3,508.76

████████████████████ \$1,798.77

████████████████████ \$17,717.80

████████████████████ \$0.00

████████████████████ \$57,848.05

████████████████████ (\$7,000.00)

████████████████████ \$1,195,679.85

████████████████████ \$59,783.99

████████████████████ (\$4,867.20)

████████████████████ \$54,916.79

tion in accordance with the
tainable or publicly available
firm to competitive position of
and is treated by Verizon as

June 2014

Mr. Thomas Boussy
Select Board Vice Chair
Town Hall
35 Central Street
Stoneham, MA 02180

RE: MUNICIPAL ENERGY AGGREGATION

Dear Mr. Boussy:

Residential electric rates have increased substantially in the last 12 months.

Municipal Energy Aggregation ("MEA") can help your residents save money while enjoying budget certainty on their electric bills.

With a MEA program, all of your residents can purchase electricity together, in bulk, for a term length of your choosing.

Your community can also procure renewable energy at a bulk rate. Many of Good Energy's client communities have found MEA to be an excellent leveraging tool for purchasing renewable energy.

Good Energy, L.P. is the most experienced Municipal Energy Aggregation consultant in the country with over 150 municipal aggregations serving 1.5 million people and savings of \$100 million.

Join our program today and help your community take charge of its electricity needs.

Sincerely,



Philip Carr
Director of Business Development, New England
Good Energy, L.P.

Email: philip.carr@goodenergy.com

Mobile: (310) 220-1454

Please visit our website at massachusetts.goodenergy.com for more information.



Massachusetts Housing Finance Agency
One Beacon Street, Boston, MA 02108

TEL: 617.854.1000 | FAX: 617.854.1091
VP: 866.758.1435 | www.masshousing.com

June 23, 2014

Weiss Farm Apartments LLC
100 Grandview Road, Suite 207, Braintree, MA 02184
Attention: Richard J. High

VIA CERTIFIED MAIL

Re: The Commons at Weiss Farm
Stoneham, MA (SA-13-006)
Project Eligibility (Site Approval) Application

Dear Mr. High:

This letter is in response to your application for a determination of Project Eligibility (Site Approval) pursuant to Massachusetts General Laws Chapter 40B ("Chapter 40B"), 760 CMR 56.00 (the "Regulations") and the Comprehensive Permit Guidelines issued by the Department of Housing and Community Development ("DHCD") (the "Guidelines" and, collectively with Chapter 40B and the Regulations, the "Comprehensive Permit Rules"), under the following program (the "Program"):

- New England Fund ("NEF") Program of the Federal Home Loan Bank of Boston ("FLHBB").

Weiss Farms Apartments LLC has filed a proposal with MassHousing pursuant to Chapter 40B. The proposal is to build 264 units of rental housing (the "Project") on approximately 25.67 acres of land at 170 Franklin Street (the "Site") located in Stoneham (the "Municipality").

This letter is intended to be a written determination of Project Eligibility ("Site Approval") in accordance with the Comprehensive Permit Rules, establishing fundability by a subsidizing agency under a low or moderate-income housing subsidy program pursuant to the Guidelines which may be found at www.mass.gov/hcd/docs/legal/comprehensivepermitguidelines.pdf. To the extent that Project funding is provided by a non-governmental entity such as a Federal Home Loan Bank this letter is also intended to be a determination of Project Eligibility ("Site Approval") by MassHousing acting as a Subsidizing Agency (formerly, "Project Administrator") under the Guidelines, including Part V thereof, "Guidelines for Housing Programs in Which Funding Is Provided by Other Than a State Agency."

MassHousing staff has performed an on-site inspection of the Site, which local boards and officials were invited to attend, and has reviewed the pertinent information for the Project submitted by the Applicant, the Municipality and others in accordance with the Comprehensive Permit Rules. As a result of our review, we have made the following findings as required pursuant to 760 CMR 56.04(1) and (4): (a) that the proposed Project appears generally eligible under the requirements of the housing subsidy program, subject to final approval under 760 CMR 56.04(7) ("Final Approval"); (b) that the Site of the proposed Project is generally appropriate for residential development taking into consideration the information provided by the Municipality regarding actions previously taken to meet affordable housing needs; (c) that the conceptual project design is generally appropriate for the site on which it is located; (d) that the proposed Project appears financially feasible within the housing market in which it will be situated based on comparable rentals; (e) that an initial pro forma, including a land value determination consistent with the Guidelines, has been reviewed, and the Project appears financially feasible and consistent with the Guidelines for cost examination and limitations on profits and distributions on the basis of estimated development costs, and the Project is fundable under the Program; (f) that the Applicant would be eligible to apply as a Limited Dividend Organization in connection with an application for financing under the Program; and meets the general eligibility standards of the Program; and (g) that the Applicant controls the Site. Each such finding, with supporting reasoning, is set forth in further detail on Attachment 1 hereto.

As noted, MassHousing staff has determined that the Project appears generally eligible under the requirements of the NEF Program, subject to final review of eligibility and to Final Approval. In order to maintain eligibility under the NEF Program the following requirements must be addressed as part of your Final Approval application submission:

1. Financing for the Project must originate from a subsidizing lender that is a member of the FHLBB; a minimum of 25% of the financing must be obtained from the NEF Program; the construction and permanent financing must be for a minimum term acceptable to the Subsidizing Agency; and other financing terms and conditions must be substantially similar to terms used by the Subsidizing Agency in its own lending programs or otherwise be commercially reasonable. Evidence of a firm commitment for financing for the Project must be provided during your request to MassHousing for Final Approval. The Regulatory Agreement shall provide that any transfer of all or a portion of the NEF lender's interest (including participations or sale of servicing rights) during the approved term of the construction loan or, if applicable, the first five (5) years of the permanent financing, shall be subject to the approval of the Subsidizing Agency.
2. The Applicant must offer a minimum of 25% of the units for rental to households earning no more than 80% of the area median income, adjusted for household size, as published by the U.S. Department of Housing and Urban Development (HUD). The initial maximum housing cost (rent plus applicable utility allowances) for the affordable units

must be set at levels affordable to households earning no more than 80% of the area median income as determined by MassHousing based on the income limits published annually by HUD as adjusted for household size (based on 1.5 persons per bedroom). The most recent HUD income limits indicate that 80% of the current median income for a 4-person household in the Municipality is \$67,750.

3. The Applicant must enter into a Regulatory Agreement acceptable to MassHousing in the form for the applicable Program, ensuring compliance with the Comprehensive Permit Rules and the Program. If the Project is funded through the NEF Program, MassHousing will serve as the Subsidizing Agency under the Regulatory Agreement. The legal description of the Site attached to the Regulatory Agreement must be in recordable form.
4. The Applicant must comply with the Land Value Policy described in Section IV (B) (1) of the Guidelines and, if applicable, MassHousing's Acquisition Value Policy. *Please note that the proposed purchase price of \$7,686,200 exceeds the "As Is Market Value" of the property determined by the MassHousing commissioned independent appraisal.* The maximum permissible acquisition value that can be included, for limited dividend purposes, in the Development Budget approved at Final Approval and at the time of Cost Examination/Cost Certification, is the "As Is" value determined by the MassHousing commissioned independent appraisal of \$1,800,000 plus reasonable and verifiable carrying costs (where permitted by the Guidelines) from the October 2, 2013 date of your Site Approval application.
5. In accordance with Section 15 of the Purchase and Sale Agreement, evidence of legal site subdivision into two parcels is required prior to Final Approval.
6. The Applicant must be a Limited Dividend Organization and agree to limit the profit on, and distributions from, the Project in accordance with the Comprehensive Permit Rules.
7. The Project must comply with the Commonwealth's Sustainable Development Principles.
8. The Applicant must demonstrate that the Project will comply with EPA's Energy Star guidelines or with similar standards acceptable to MassHousing. The Applicant must make an application and submit plans to the local Energy Star administrator.
9. Final plans for the Development must show the number and location of handicapped accessible rental units in compliance with all applicable state and federal regulations.
10. The affordable rent levels must comply with the then-applicable 80% of Area Median Income (AMI) rent standard as adjusted for the required utility allowances. If any utility allowances are proposed at the time of Final Approval, appropriate supporting documentation shall be provided by the Applicant.

11. In accordance with the Interagency Agreement Regarding Housing Opportunities for Families with Children dated January 17, 2014 (attached) at least 10% of the units in the Project must have three (3) or more bedrooms. Evidence of compliance with this requirement must be provided at Final Approval.

Municipal Comments

The Municipality was given a thirty (30) day period in which to review the site approval application and submit comments to MassHousing. In response to a request from the Stoneham Board of Selectmen this review period was extended to sixty (60) days. The Chairman of the Stoneham Board of Selectmen provided an initial comment letter, received by MassHousing on December 19, 2013, identifying numerous concerns with the Project, and urging MassHousing to deny the Application for Site Approval.

On January 14, 2014, MassHousing and the Municipality received revised site plans, showing modifications made by the Applicant in response to feedback from MassHousing and the Municipality regarding the site layout and building design. The number of units and overall unit mix remained the same as in the original submittal. Revisions to the site plan included reorientation of the larger apartment buildings around a central open space, and the incorporation of five smaller townhouse structures to better integrate the Project into the surrounding neighborhood.

Following receipt of the revised Site Plan, Stoneham Selectmen asked for and were granted an additional forty-one (41) days to review the revised plans. On February 19, 2014, MassHousing received a second comment letter from the Stoneham Board of Selectmen stating that the revised Site Plan did not address their initial concerns. They stated that they remained in opposition to the Project, and affirmed that all of the comments included in the initial comment letter remained unchanged. The second letter also included a brief evaluation of the Project's compliance with the Commonwealth of Massachusetts "Sustainable Development Principles".

In response to a request from the Municipality, the Applicant agreed to a public meeting scheduled for May 19, 2014 intended to provide further opportunity for public comment. Subsequent to that public meeting the Municipality submitted additional comments in a letter dated May 29, 2014, expressing disappointment with the outcome of the presentation and restating all previous comments.

Municipal comments identified the following major areas of concern:

- Stoneham Selectmen expressed the belief that the Applicant failed to have a pre-application meeting with representatives from the Town of Stoneham prior to the

submittal of their application to MassHousing. They noted that a pre-submittal meeting was a MassHousing requirement and urged MassHousing to deny the application on this basis.

- Stoneham Selectmen questioned the Applicant's eligibility to apply for a determination of Site Approval because they fail to provide evidence that they are a "public agency, a non-profit organization, or a Limited Dividend Organization", as required by 760 CMR 56.04 (1) and 760 CMR (4) (f). MassHousing has determined that there is no reason that this requirement could not be met in the normal course prior to Final Approval. Final Approval would not be granted if at that time MassHousing could not find that the Applicant qualified as a Limited Dividend Organization.
- The Selectmen expressed concern that the Applicant fails to provide evidence of site control. MassHousing has reviewed the application and finds that the Purchase and Sale Agreement provided by the Applicant provides sufficient evidence of site control subject to final review at Final Approval.
- The Selectmen questioned the estimated land value of \$7,686,300 included in the project pro-forma. In accordance with the Section IV B.1 of the Guidelines, MassHousing has commissioned a self-contained appraisal regarding the Site, dated as of November 1, 2013, which indicates an "as-is" land valuation of \$1,800,000. In accordance with the Comprehensive Permit Rules, this is the only value that can be used in determining compliance with the limited dividend requirement.
- Stoneham Selectmen expressed the opinion that the Project was not consistent with the majority of the Commonwealth's Sustainable Development Principles, and cited evidence provided in a letter prepared by Glenn C. Gibbs, who is a municipal planner, received by MassHousing on February 19, 2014.
- Stoneham Selectmen expressed concern with the site plan, stating that it provided insufficient usable open space, too much impervious surface, and a level of density incompatible with the surrounding neighborhoods. They noted that these comments applied to both the initial and the revised site plan.
- Stoneham Selectmen noted that a significant portion of the Site is subject to the jurisdiction of the Stoneham Conservation Commission pursuant to the Wetlands Protection Act. They expressed the concern that the Project would have negative impacts on area wetlands, both on-and off site, and associated impacts on adjacent properties.
- The Stoneham Selectmen expressed concern that the Project will be located in an already congested location, and will exacerbate existing high traffic volumes on Franklin Street.

- The Selectmen expressed concern that the Project would result in the loss of agricultural land, and questioned whether the Site's use for a 40B development was permissible because they believe that "Executive Order 193 applies to the Project. MassHousing has reviewed the language of the Executive Order and determined that it does not apply to the proposed project. The Executive Order applies to projects involving state "funds" and state-owned land, neither of which are components of this proposal.

Community Comments

In addition to the comments from town officials, MassHousing received a significant number of letters from area residents, all of which expressed opposition to the Project. The vast majority of letters received were copies or slight modifications of the same letter which had been individually signed and mailed to MassHousing. While letters from members of the community basically echoed the concerns identified by the Selectmen, the quantity of letters received is worth note. Community concerns can be summarized as follows:

- Community members voiced concern with existing traffic congestion on Franklin Street, and the possibility that the Project would exacerbate traffic volumes and further reduce the level of service at area intersections. Letters expressed the concern that increased traffic volume on area roadways would result in unsafe conditions for area school children in light of the proximity of the Project to several public schools.
- Area residents expressed the belief that there were sufficient amounts of affordable housing in Stoneham, and that additional affordable housing was not needed at this time.
- Area residents expressed concern about the fiscal impacts of the Project, including impacts on the quality of municipal services, specifically those that would impact schools and public works.
- Area residents expressed concern about potentially negative environmental impacts of the Project. They noted that portions of the Site have historically experienced flooding, and expressed concern that Project grading could result in erosion and flooding impacts on area wetlands and adjacent properties.

MassHousing received a separate letter from the Stoneham Historical Commission dated November 14, 2013. This letter expressed opinion that the Project was out of character with the surrounding residential neighborhood, and asked that the Developer solicit community input relative to the final design. They also urged the Developer to incorporate interpretive elements reflecting the historical use of the Site as a farm dating back to the 1700s.

MassHousing was also contacted by Representative Jason Lewis, who provided a letter dated December 2, 2013 expressing concerns about the proposed development. Representative Lewis

reiterated constituent concerns about the potential impacts of the Project on area traffic, wetlands and natural resources. He stated that he had “serious reservations” about the Project, and expressed the opinion that “extensive deliberation and community input” was warranted prior to any sort of approval.

MassHousing has carefully considered all municipal concerns and, to the extent possible within the context of Site Approval, has offered responses in the “recommendations section” of this letter. It is anticipated that the Municipality, through the comprehensive permit process, will thoroughly review the Project proposal and identify all conditions necessary to ensure consistency with “local need” as defined in M.G.L Chapter 40B Section 20.

Recommendations

Based on MassHousing’s site and design review, and its review and consideration of comments received from the Municipality and others, the following issues should be addressed in your application to the local Zoning Board of Appeals (“ZBA”) for a comprehensive permit and fully explored in the public hearing process prior to submission of your application for Final Approval under the Program:

1. Development of the Site will require resolution of all environmental conditions in accordance with federal and state laws, regulations and standards applicable to existing conditions and to the proposed use including, but not limited to, compliance with all applicable regulatory restrictions relating to floodplain management, the protection of wetlands (WPA), river and wildlife habitats/conservation areas as well as state environmental protection requirements relating to the protection of the public water supply, storm water runoff, wastewater treatment, and hazardous waste safety. The Applicant should expect that the Municipality will require evidence of such compliance prior to the issuance of a building permit for the Project.
2. The Applicant should provide a detailed traffic study assessing potential impacts of the Project on area roadways, including traffic volumes, crash rates, and the safety and level of service (“LOS”) of area intersections, as well as identifying appropriate mitigation in compliance with all applicable state requirements. In particular, the Applicant should be prepared to provide detailed information about potential traffic impacts on Franklin Street, and to address the need for physical upgrades to Franklin Street to accommodate the projected increase in trip rates.
3. The Applicant should be prepared to discuss the adequacy of sight distances at the Site’s proposed entrance on Franklin Street.
4. The Applicant should be prepared to respond to questions about the provision of alternative modes of transportation to and from the Site, and safe bike/pedestrian access on Franklin Street.

5. The traffic study or other professional peer review process should address on-site parking and circulation to ensure compliance with industry standards relative to drive-aisle widths, turning radii, hydrant locations and sufficiency of emergency access, etc.
6. The Applicant should provide a detailed Stormwater Management Plan identifying erosion control and stormwater management measures to be implemented during and after construction. This plan should describe any special measures that will be taken to address reported episodes of seasonal flooding on portions of the Site, and should include a comprehensive stormwater analysis showing no net increase in run-off on to abutting properties.
7. A Chapter 21E Phase I/II Environmental Assessment, was prepared by McPhail Associates, LLC on June 13, 2013. The purpose of the assessment was to identify the presence of Recognized Environmental Conditions (REC's) on the Site, and to assess the potential impacts to soil and groundwater from the Site's historical agricultural use. While this study did not identify any REC's, it did include recommendations relative to the removal of oil and potentially hazardous material that had been stored in the buildings, and the demolition of the buildings themselves. The Applicant should be prepared to discuss these recommendations during the Comprehensive Permit hearing process.
8. The Applicant should be prepared to discuss the implementation of appropriate noise attenuation measures through building and site design.
9. The site plan relies on the preservation of existing mature vegetation around the perimeter of the Site in order to provide effective screening from Franklin Street and adjacent neighborhoods. The Applicant should be prepared to describe, during the public hearing process, proposed measures to preserve the mature trees during and after construction, during the public hearing process.
10. A landscape plan should be provided, including a detailed planting plan as well as paving, lighting, and signage details and the location of outdoor dumpsters or other waste receptacles. The landscape plan also should include provisions for irrigation and long-term landscape maintenance.
11. Additional details should be provided to the Town about any proposed site amenities including shared community rooms, outdoor playground and seating areas, and specific information about proposed pedestrian links to nearby recreational facilities.
12. Any local preference plan required by the Municipality must conform to federal fair housing law and to the requirements outlined in the 40B Guidelines, Section III (D).

Weiss Farm Apartment LLC
Re: The Commons at Weiss Farm
MassHousing (SA-13-006)
Project Eligibility (Site Approval) Application
Page 9

This Site Approval is expressly limited to the development of no more than 264 rental units under the Program, subject to minimum affordability requirements (including percentage of units for low or moderate-income households, income eligibility standards and duration of restrictions requiring low or moderate-income housing) and the Developer's limited dividend status requirement, all as set forth in the Comprehensive Permit Rules for financing under the Program. It is not a commitment or a guarantee of MassHousing or NEF financing or state subsidies and does not constitute a site plan or building design approval. Should you consider, prior to obtaining a comprehensive permit, the use of any other housing subsidy programs, the construction of additional units or a reduction in the size of the Site, you will be required to submit a new site approval application for review by MassHousing. Should you consider a change in tenure type (rental/homeownership), or a change in building type or height, or a substantial change in the design of the Project, you may be required to submit a new site approval application for review by MassHousing.

For guidance on the comprehensive permit review process you are advised to consult the Guidelines. Further, we urge you to review carefully with legal counsel the M.G.L. c.40B Comprehensive Permit Regulations, 760 CMR 56.00.

This approval will be effective for a period of two years from the date of this letter. Should the Applicant not apply for a comprehensive permit within this period or should MassHousing not extend the effective period of this letter in writing, this letter shall be considered to have expired and no longer be in effect. In addition, the Applicant is required to notify MassHousing at the following times throughout this two year period: (1) when the Applicant applies to the local ZBA for a comprehensive permit, (2) when the ZBA issues a decision, and (3) if applicable, when any appeals are filed.

Should a comprehensive permit be issued, please note that prior to (i) commencement of construction of the Project or (ii) issuance of a building permit, the Applicant is required to submit to MassHousing a request for Final Approval of the Project, (as it may have been amended) in accordance with the Comprehensive Permit Rules (see especially 760 CMR 56.04(07) and the Guidelines including, without limitation, Part III thereof concerning Affirmative Fair Housing Marketing and Resident Selection). Final Approval will not be issued unless MassHousing is able to make the same findings at the time of issuing Final Approval as required at Site Approval.

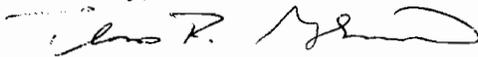
Further Opportunities for Assistance from MassHousing: Please note that MassHousing may not issue Final Approval if the comprehensive permit contains any conditions that are inconsistent with the regulatory requirements of the applicable housing subsidy program (The New England Fund Program of the FHLBB, for which MassHousing serves as Subsidizing Agency), as reflected in the applicable regulatory documents. A modification of the comprehensive permit may be required. Without limitation, we note that if the

Weiss Farm Apartment LLC
Re: The Commons at Weiss Farm
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Page 10

comprehensive permit will contain any local preference condition, the Guidelines require that the community demonstrate that a local preference is needed and can be implemented in a way that will not have a disparate impact on protected classes. In the interest of providing for an efficient review process and in order to avoid the potential lapse of certain appeal rights, the Applicant may wish to submit a “final draft” of the comprehensive permit to MassHousing for review. Applicants who avail themselves of this opportunity may avoid significant procedural delays that can result from the need to seek modification of the comprehensive permit after its initial issuance.

If you have any questions concerning this letter, please contact Greg Watson, Manager of the Comprehensive Permits Division, at 617-854-1880.

Sincerely,



Thomas R. Gleason
Executive Director

cc: Mr. Aaron Gornstein, Undersecretary, DHCD
Mr. Thomas Boussy, Chairman, Stoneham Board of Selectmen
Mr. David Ragucci, Stoneham Town Manager

Attachment 1

760 CMR 56.04 Project Eligibility: Other Responsibilities of Subsidizing Agency
Section (4) Findings and Determinations

The Commons at Weiss Farm, Stoneham (SA-13-006)

After the close of a 30-day review period and extensions, MassHousing hereby makes the following findings, based upon its review of the application, and taking into account information received during the site visit and from written comments:

(a) MassHousing finds that the proposed Project appears generally eligible under the requirements of the housing subsidy program, subject to final approval under 760 CMR 56.04(7);

The Project is eligible under the NEF housing subsidy program and at least 25% of rental units will be available to households earning at or below 80% of the Area Median Income (AMI). Proposed gross rents for the affordable units are \$1,156 for a studio apartment; \$1,323 for a one bedroom; \$1,487 for a two bedroom and \$1,652 for a three bedroom, and accurately reflect current affordable rent levels for the Boston-Cambridge-Quincy HMFA. Projected rents include estimated utility costs of \$180, \$247, \$316 and \$402, respectively.

A letter of interest was provided by Cambridge Savings Bank, a member bank of the Federal Home Loan Bank of Boston (FLHBB).

(b) MassHousing finds that the site of the proposed Project is generally appropriate for residential development, taking into consideration information provided by the municipality or other parties regarding municipal actions previously taken to meet affordable housing needs, such as inclusionary zoning, multifamily districts adopted under c.40A, and overlay districts adopted under c.40R;

The Site appears to be highly suitable for residential development. The Stoneham Zoning By-Law has designated this area as "Residence A", which limits by-right development to single-family homes with a minimum lot size of .23 acres (10,000 square feet) per unit. The Site's central location within the Municipality, its proximity to area services, relatively flat topography and ready availability of utilities, however, make it an acceptable location for higher-density, multi-family development such as that described by the Applicant.

According to the most recent version of DHCD's Chapter 40B Subsidized Housing Inventory (SHI), 495 of Stoneham's 9399 total housing units (5.3%) are subsidized for low or moderate income households. Stoneham does not have a DHCD certified Housing Production Plan, and MassHousing is not aware of recent or ongoing Municipal actions aimed at addressing local

need. If this Project were to be completed, however, the number of affordable units would increase by 264 to 759, or 8.1% of Stoneham's total housing stock.

(c) MassHousing finds that the conceptual project design is generally appropriate for the site on which it is located, taking into consideration factors that may include proposed use, conceptual site plan and building massing, topography, environmental resources, and integration into existing development patterns;

In summary, based on evaluation of the site plan using the following criteria, MassHousing finds that the proposed conceptual project design is generally appropriate for the Site. It should be noted that the proposed site plan for Weiss Farm included in the original submittal to MassHousing on October 2, 2013 was significantly re-designed by the Applicant in response to feedback that they received from the community and MassHousing during the initial review process. The following plan review findings are made in response to the modified conceptual plan, submitted to MassHousing on January 14, 2014:

1. Relationship to Adjacent Building Typology:

The 25.67-acre Site, located at 170 Franklin Street in Stoneham, is a portion of a former dairy farm that is currently operated as a loam and topsoil business. Nearby development on Franklin Street includes a fairly broad mix of building types including traditional one- and two-story single-family homes on approximately quarter-acre lots, one-story commercial uses, and multi-family housing and undeveloped land. Stoneham High School, with its associated parking and athletic facilities, is located across Franklin Street from the Site. Of note are two substantial, three- to five- story, multi-family housing developments also located on the east side of Franklin Street across from the Site.

- Buildings are designed to fit into the surrounding, mixed-use suburban context through the use of a mix of traditional siding materials, articulated facades with projecting bays and balconies, and sloped, asphalt-shingled roofs with multiple gables.
- Buildings have been sited with the goal of minimizing impacts on the surrounding streetscape, with the townhouses located closest to the Site entrance, and the larger buildings oriented vertically to Franklin Street to minimize their observable bulk.
- Landscaping, including existing and proposed plantings, will further ameliorate the impact of the Project on the surrounding area.
- A 50,562 square-foot parcel of land including a two-story house and barn will be subdivided from the larger property to create a single-family house lot with frontage on Franklin Street (the two remaining barns will be demolished). The preservation of

the existing farmhouse adjacent to the Site entrance will enhance integration the Project into the surrounding neighborhood context

2. Relationship to Adjacent Streets

The Site fronts directly on Franklin Street to the east/southeast, but is separated from surrounding residential streets to the east, north, west and south by densely vegetated wetland areas. The visual impact of the Project on Franklin Street will be moderated by the following:

- Two townhouse buildings (each two stories high) will front directly on Franklin Street, reflecting the scale of adjacent single-family residential development;
- The larger, five-story apartment buildings will be located further back and at a significantly lower elevation from the road;
- The existing house and one of the barns will be preserved on a newly created lot fronting directly on Franklin Street immediately adjacent to the Site's entrance, thus protecting this portion of the streetscape and further screening views into the Site;
- The two larger buildings located closest to Franklin Street have been oriented so as to minimize their visual impact from street;
- Dense existing vegetation will be preserved on the Site's northern and western boundaries.

3. Density

- Gross Project density is 10.3 units per acre of total site area and 19.3 units per buildable acre, which would not be considered significantly dense when compared to other multi-family developments of this size.
- While proposed density is higher than that of nearby single-family residences, it appears to be significantly less dense than nearby multi-family developments on Franklin Street (Brookmeadow and Grand Villa).
- Project density is mitigated by the presence of ample open space and landscaping within the developed portion of the Site and the fact that much of the perimeter area (which is primarily vegetated wetlands) has been left undeveloped.

4. Site Plan

Weiss Commons includes five townhouse structures (each with two stories); three apartment buildings (each with five stories), and three garage structures (each with one story), along with associated surface parking, landscaped open areas, and site drives. Access to the Site

will be located on Franklin Street approximately 200' northwest from the existing farmhouse, which will be retained along with one barn on a newly created house lot with frontage on Franklin Street. As noted above, the Applicant revised the Site Plan significantly during the course of the project eligibility review in response to feedback from MassHousing and the Municipality. The resulting Site Plan provides an attractive setting for Project residents, while minimizing the visual impact of the Project from Franklin Street and adjacent residential neighborhoods.

- The entrance area will be heavily landscaped, and bounded by two residentially-scaled townhouse buildings, effectively screening views into the Site and complimenting the scale of nearby single-family development.
- From the entrance the site drive slopes downward, passing three two-story townhouse structures marking the Site's southern boundary, and further screening views into the Site from Franklin Street.
- The site plan largely concentrates development at the Site's central core, leaving largely vegetated open areas adjacent to Franklin Street and nearby residential neighborhoods undeveloped. The Site's central core includes three, five-story multifamily buildings organized around a central open area, with surface parking wrapped around the perimeter. The central open area will include a clubhouse, pool and lawn areas, providing an attractive outdoor area for Project residents.
- Two of the multi-family apartment buildings have been oriented so as to minimize their visual impact from Franklin Street. The largest, a "U"-shaped building will be located furthest back from Franklin Street, and will include ground-level parking under the building.
- Additional parking is provided below one of the apartment buildings and in three small garage structures, reducing the visual impact of surface parking as well as the amount of impervious surface.

5. Environmental Resources

- The Site includes significant wetland resources in the north and west portion of the Site and along the easterly edge of the Site. Wetland resources include a drainage channel that was constructed around three sides of the farm operation area. The site plan envisions limited work within the 50' buffer. An Order of Conditions from the Stoneham Conservation Commission will be required under the state Wetlands Protection Act.
- The Site features a substantial existing vegetative buffer around much of the perimeter, including a large vegetated area on the northern side of the property. The site plan

envisions retention of a significant amount of existing vegetation, effectively screening views into the Site from Franklin Street and abutting properties.

- FEMA maps indicate that no portion of the Site is within the 100-year floodplain.
- The Applicant submitted a Chapter 21E Phase I/II Environmental Assessment prepared by McPhail Associates, LLC on June 13, 2013 which identified no significant soil or groundwater contamination, and no evidence of Recognized Environmental Conditions (REC's). This report indicated the presence of lead and polynuclear aromatic hydrocarbons which, while below applicable reporting thresholds, would warrant additional testing. The report also recommended the removal of existing hazardous materials stored in the barns, and management of lead-based paint and asbestos.

6. Topography

The site plan takes advantage of existing topography to the extent possible in order to minimize the Project's visual impacts.

- The Site slopes down from its entrance on Franklin Street to a level plateau at its center where the majority of the development is concentrated, and then slopes back up to the east.
- The finished floor elevations of the three larger buildings are approximately 10-12 feet lower than Franklin Street, which will have the effect of significantly reducing the visual impact of proposed building elevations when viewed from surrounding areas.
- Lower, two-story buildings similar in scale and height to surrounding residential properties are located at higher elevations closest to Franklin Street, with the larger apartment buildings sited on lower areas further back into the Site.
- An existing knoll located in the center of the Site will be leveled, allowing for a more compact site layout, and resulting in the creation of additional usable open space for Project residents close to the buildings.

7. Proposed Use:

Based on MassHousing staff's site inspection, internal discussions, and a thorough review of the application, MassHousing finds that the Site is suitable for residential use and development. This is supported by the following:

- The Site is currently served by municipal water and sanitary sewer, with ready availability to other utilities including natural gas, electricity, phone and cable.

- The Site is zoned for residential use, and is located in close proximity to two existing multi-family developments of comparable or higher density on the opposite side of Franklin Street.
- The Site is located immediately across the street from Stoneham High School, and is within walking distance to a daycare center, convenience store, laundromat, and recreational facilities. An assisted living facility is currently being constructed approximately ¼ mile from the Site. Other commercial facilities and services are located within one to two miles from the Site.
- The Site is located approximately one mile east of Route 28 and two miles east of I-93, providing good highway access, and less than one mile from an MBTA commuter rail station (Melrose Highlands).

(d) MassHousing finds that the proposed Project appears financially feasible within the housing market in which it will be situated (based on comparable rentals or sales figures);

The Applicant proposes 264 rental apartments to be financed under the NEF Program. There will be 198 market-rate units with proposed average rent levels of \$1,391 for studio apartments; \$1,725 for the one bedroom units; \$2,204 for the two bedroom units, and \$2,847 for the three bedroom units. MassHousing's Appraisal and Marketing Division ("A&M") conducted a preliminary market analysis and found that proposed market rent levels for all units types fall within the adjusted range of comparable unit rents and appear feasible in this market.

A&M reports that, overall, the Stoneham rental market appears to be stable, with no direct competition within Stoneham from any other newly constructed rental developments. Comparable rental developments surveyed in Stoneham, Lynnfield, Burlington, Reading and Melrose have a current average occupancy of 96%, with two of the five properties surveyed (in Lynnfield and Melrose) currently in rent-up.

Marketability of the rental units (market rate and affordable) is further supported by a review of 2010 census data for the Town of Stoneham, which shows approximately 48% of Stoneham households at under 80% of the 2013 Boston Area Median Income.

(e) MassHousing finds that an initial pro forma has been reviewed, including a land valuation determination consistent with the Department's guidelines, and the Project appears financially feasible and consistent with the Department's guidelines for Cost Examination and Limitations on Profits and Distributions (if applicable) on the basis of estimated development costs;

MassHousing has commissioned an as "As-Is" appraisal which indicates a land valuation of

\$1,800,000. Based on a proposed equity investment of \$21,840,000 the Applicant's pro forma appears to be financially feasible and within the limitations on profits and distributions.

(f) MassHousing finds that the Applicant is a public agency, a non-profit organization, or a Limited Dividend Organization, and it meets the general eligibility standards of the housing program; and

The Applicant must be organized as a Limited Dividend Organization prior to applying for Final Approval. MassHousing sees no reason this requirement could not be met given information reviewed to date. The Applicant meets the general eligibility standards of the NEF housing subsidy program.

(g) MassHousing finds that the Applicant controls the site, based on evidence that the Applicant or a related entity owns the site, or holds an option or contract to acquire such interest in the site, or has such other interest in the site as is deemed by the Subsidizing Agency to be sufficient to control the site.

The Applicant controls the entire 25.66-acre Site by virtue of a Purchase and Sale Agreement (P&S) between Weiss Farm, Inc. (seller) and John M. Corcoran & Co. LLC (buyer) dated April 10, 2013, and a subsequent Assignment of Purchase and Sale Agreement between John M Corcoran & Co. LLC ("Assignor") and Weiss Farm Apartments LLC ("Assignee") dated May 16, 2013. The Site, which is located at 170 Franklin Street in Stoneham, is shown on Stoneham Assessor's Map 8, Block 0, Lot 106. The P&S also provides for the subdivision and retention by the seller of a 50,562 square foot parcel from the larger 25.674-acre Site, to include the existing family home and adjacent rear barn. Evidence of legal site subdivision into two separate parcels is required.



Massachusetts Housing Finance Agency
One Beacon Street, Boston, MA 02108

TEL: 617.854.1000 | FAX: 617.854.1091
VP: 866.758.1435 | www.masshousing.com

June 23, 2014

Mr. Thomas Boussy, Chairman
Stoneham Board of Selectmen
35 Central Street
Stoneham, MA 02180

RE: The Commons at Weiss Farm
170 Franklin Street, Stoneham
MH # SA-13-007

Dear Mr. Boussy:

I write in response to your letter dated May 29, 2014 concerning the presentation by John M. Corcoran & Co., LLC to the Town of Stoneham regarding the above-referenced development proposal. As you may recall, the purpose of this presentation was to satisfy MassHousing's recommendation that a developer meet with the town prior to submitting a formal application for site approval. It is important to note that MassHousing did not expect that the presentation would result in an entirely new development proposal, nor lead to negotiations with the Town, but rather that it would allow the community to have an open dialogue on the developer's current proposal.

My staff and I have carefully considered the comments in your letter. I believe the issues raised are more appropriate for discussion during the public hearing for a comprehensive permit before the Stoneham Zoning Board of Appeals ("ZBA") than as part of MassHousing's review of an application for site approval. Specific concerns regarding wetlands, traffic and other technical matters are important to the review of any development proposal and should be afforded the proper attention in subsequent presentations to the ZBA.

The Town of Stoneham ("Town") should continue to work towards the best possible outcome for the Weiss Farm proposal and this should include continuing to engage the developer in addressing your suggestions for how this site can be developed. The Town has already committed a great deal of effort in the review of this proposal. Many of the suggestions made by town officials and consultants on behalf of the Town, such as breaking up the massing and decreasing the height of the buildings, integrating parking and adding courtyard features, are already reflected in the revised plans that represent the current project proposal. It is my expectation and hope that the Town will continue to influence this proposal as it makes its way through the local review process before the ZBA.

The Commons at Weiss Farm (170 Franklin Street)

MH # SA-13-007

June 23, 2014

Page 2

If you have any questions, please do not hesitate to contact Gregory P. Watson, Manager of Comprehensive Permit Programs at (617) 854-1880.

Sincerely,



Thomas R. Gleason
Executive Director

cc: Representative Jason M. Lewis, 31st Middlesex District
David Ragucci, Town Administrator
Attorney Jonathan Witten, Special Town Counsel
Attorney William Solomon, Town Counsel
Richard J. High, President, John M. Corcoran & Co., LLC

June 25, 2014

Paul Lang
9 Lynde Street
Melrose, MA 02176

✓ Mr. Thomas Boussy, Chairman, Stoneham Board of Selectmen
Mr. David Ragucci, Stoneham Town Administrator
35 Central Street
Stoneham, MA 02180

Mr. Jason Lewis, State Senator 5th Middlesex District
Massachusetts State House, Room 511B
24 Beacon Street
Boston, MA 02133

Mr. Richard Davy, Secretary and CEO
Massachusetts Department of Transportation
10 Park Plaza, Suite 4260
Boston, MA 02116

Mr. Jack Murray, Commissioner
Massachusetts Department of Conservation and Recreation
251 Causeway Street, Suite 900
Boston, MA 02114

Mr. John Linehan, President and CEO
Zoo New England
One Franklin Park Road
Boston, MA 02121

Gentlemen,

This letter is written to each of you in pursuit of answers to these questions:

1. Why does MBTA Bus Route 132 not include stops at Stone Zoo/Greenwood Playground?
2. Why does Zoo New England Web Site provide only "By Automobile" directions to Stone Zoo?
3. Why does Department of Conservation and Recreation (DCR) Middlesex Fells Web Page provide no "MBTA" directions to Greenwood Playground?

Before proceeding, allow me to mention that officials from the Town of Stoneham head the list of addressees in recognition of Stoneham's serious financial support of MBTA Bus Route 132.

As you well know, MBTA Bus Route 132 passes by Stone Zoo and Greenwood Playground, whose parking lots lie almost directly across from each other on Pond Street. (It should be noted that the DCR Middlesex Fells Web Page says that parking is available at the Stone Zoo on the opposite side of Pond Street.) From that point, Bus 132's closest stop is more than one-half mile away at the intersection of South and Main Streets.

The walkways along South Street toward the Zoo/Playground from the nearest stop cross five intersections that are have no particular pedestrian safety considerations, and are not ADA compliant. Furthermore, along the stretch of South Street between Upland Street and where South Street turns into Pond Street, South Street's walkways are only a curb's width away from roadway traffic.

A pedestrian-controlled traffic light on Pond Street, almost one-half mile from the nearest bus stop, protects a pedestrian crossing near the exit of the DCR complex and close to the Zoo's staff parking area and service entrance. However, the pedestrian crossing between Playground and the Zoo, which traverses Pond Street's divided four-lanes and median at that point, is not protected by a traffic light.

Accordingly, we have a plausible answer to the second and third questions posed above: It would be irresponsible of Zoo New England and DCR to encourage visitors to Stone Zoo and Greenwood Playground to consider using MBTA Bus 132 due to inherent pedestrian hazards associated with use the Route's nearest stop. And, even if a suitable walkway were to become available, why would Zoo New England and DCR encourage visitors, especially youth and parents with children, to trek more than one-half mile each way from Route 132's nearest stop at the intersection of Main and South Streets, along an established MBTA Bus Route?

This returns us to the first question: Why does MBTA Bus Route 132 not have stops at Stone Zoo/Greenwood Playground?

And its corollary: Why is there not a more protected pedestrian crossing on Pond Street convenient to visitor entrances of Stone Zoo and Greenwood Playground ?

Sincerely,

Paul Lang

A handwritten signature in black ink, appearing to read "Paul Lang", with a long, sweeping horizontal line extending to the right.

MASSACHUSETTS DEPARTMENT OF TRANSPORTATION HIGHWAY DIVISION

STONEHAM MAIN ST (ROUTE 28) AND NORTH ST			
STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	1	22
PROJECT FILE NO.		602165	

TITLE SHEET & INDEX

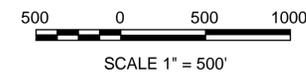
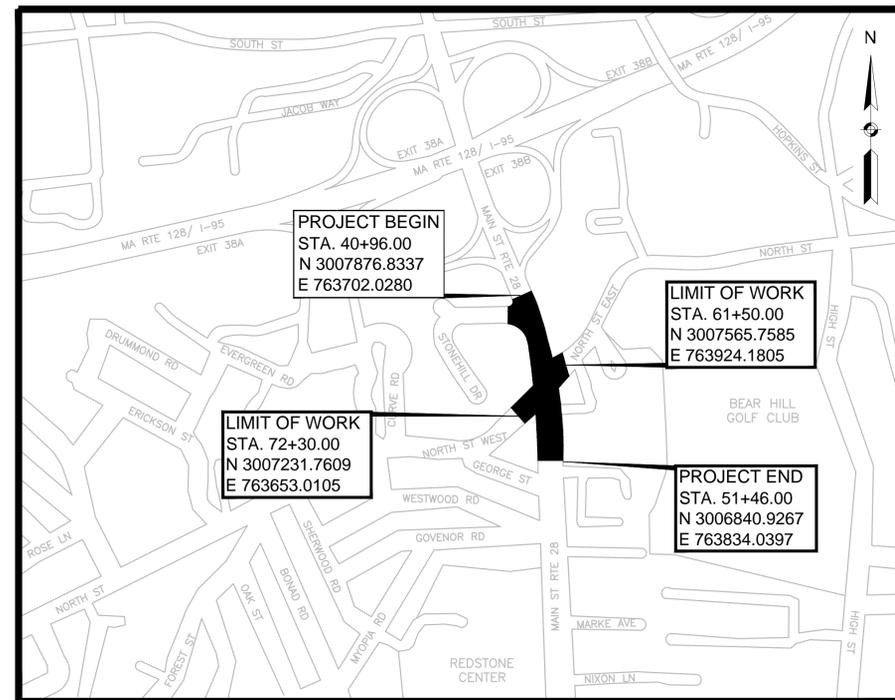
TRAFFIC SIGNAL & INTERSECTION IMPROVEMENTS AT MAIN STREET (ROUTE 28) AND NORTH STREET

TOWN OF
STONEHAM
MIDDLESEX COUNTY

THE MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES DATED 1988, AS AMENDED, THE SUPPLEMENTAL SPECIFICATIONS DATED JUNE 15, 2012, THE 2012 CONSTRUCTION STANDARD DETAILS, THE 1996 CONSTRUCTION AND TRAFFIC STANDARD DETAILS, (AS RELATED TO TRAFFIC STANDARD DETAILS ONLY), THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS WITH MASSACHUSETTS AMENDMENTS, THE 1990 STANDARD DRAWINGS FOR SIGNS AND SUPPORTS, THE 1968 STANDARD DRAWINGS FOR TRAFFIC SIGNALS AND HIGHWAY LIGHTING, AND THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, WILL GOVERN.

25% SUBMITTAL

SHEET NO.	DESCRIPTION
1	TITLE SHEET & INDEX
2	LEGEND, ABBREVIATIONS & GENERAL NOTES
3 - 4	TYPICAL SECTIONS & PAVEMENT NOTES
5	CONSTRUCTION DETAILS
6 - 8	CONSTRUCTION PLANS
9 - 12	PROFILES
13 - 15	TRAFFIC SIGNALS, TRAFFIC SIGNS & PAVEMENT MARKINGS
16	TRAFFIC SIGNAL DATA
17	TEMPORARY TRAFFIC CONTROL PLANS
18 - 22	CRITICAL CROSS SECTIONS



LENGTH OF PROJECT = 1,050.00 FEET = 0.198 MILES

DESCRIPTION	DESIGN DESIGNATION		
	MAIN STREET (ROUTE 28)	NORTH STREET EAST	NORTH STREET WEST
FUNCTIONAL CLASSIFICATION	URBAN PRINCIPAL ARTERIAL	URBAN MINOR ARTERIAL	URBAN COLLECTOR
DESIGN SPEED	40 MPH	30 MPH	30 MPH
ADT (2013)	33,235	10,020	7,090
ADT (2023)	34,935	10,530	7,450
K	7.0%	8.0%	8.0%
D	55%	80%	60%
T (PEAK HOUR)	3%	1%	2%
T (AVERAGE DAY)	2%	1%	1%
DHV	2,445	840	595
DDHV	1,345	670	360

DATE	DESCRIPTION	REV #

<p>600 Unicorn Park Drive ▲ Woburn, MA 01801 Phone: 781.932.3201 ▲ Fax: 781.932.3413 www.baysideengineering.com</p>	<p>RECOMMENDED FOR APPROVAL</p>
	<p>CHIEF ENGINEER _____ DATE _____</p>
<p>DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION</p> <p>APPROVED:</p> <p>_____ DIVISION ADMINISTRATOR DATE _____</p>	<p>APPROVED</p> <p>_____ HIGHWAY ADMINISTRATOR DATE _____</p>

GENERAL SYMBOLS

EXISTING	PROPOSED	DESCRIPTION
		JERSEY BARRIER ON BRIDGE OR JERSEY BARRIER
		CATCH BASIN
		CATCH BASIN CURB INLET
		FLAG POLE
		GAS PUMP
		MAIL BOX
		POST SQUARE
		POST CIRCULAR
		STEEL POLE
		WELL
		ELECTRIC HANDHOLE
		FENCE GATE POST
		GAS GATE
		BORING HOLE
		MONITORING WELL
		TEST PIT
		HYDRANT
		LIGHT POLE
		COUNTY BOUND
		GPS POINT
		CABLE MANHOLE
		DRAINAGE MANHOLE
		ELECTRIC MANHOLE
		GAS MANHOLE
		MISC MANHOLE
		SEWER MANHOLE
		TELEPHONE MANHOLE
		WATER MANHOLE
		MASSACHUSETTS HIGHWAY BOUND
		MONUMENT
		STONE BOUND
		TOWN OR CITY BOUND
		TRAVERSE OR TRIANGULATION STATION
		TROLLEY POLE OR GUY POLE
		TRANSMISSION POLE
		UTILITY POLE W/ FIREBOX
		UTILITY POLE WITH DOUBLE LIGHT
		UTILITY POLE W / 1 LIGHT
		UTILITY POLE
		BUSH
		TREE
		STUMP
		SWAMP / MARSH
		WATER GATE
		PARKING METER
		OVERHEAD CABLE/WIRE
		CURBING
		CONTOURS
		UNDERGROUND DRAIN PIPE (DOUBLE LINE 24 INCH AND OVER)
		UNDERGROUND ELECTRIC DUCT (DOUBLE LINE 24 INCH AND OVER)
		UNDERGROUND GAS MAIN (DOUBLE LINE 24 INCH AND OVER)
		UNDERGROUND SEWER MAIN (DOUBLE LINE 24 INCH AND OVER)
		UNDERGROUND TELEPHONE DUCT (DOUBLE LINE 24 INCH AND OVER)
		UNDERGROUND WATER MAIN (DOUBLE LINE 24 INCH AND OVER)
		BALANCE STONE WALL
		GUARD RAIL - STEEL POSTS
		GUARD RAIL - WOOD POSTS
		CHAIN LINK OR METAL FENCE
		WOOD FENCE
		HAY BALES/SILT FENCE
		TREE LINE OR LIMIT OF CLEARING AND GRUBBING
		SAWCUT LINE
		TOP OR BOTTOM OF SLOPE
		LIMIT OF EDGE OF PAVEMENT OR COLD PLANE AND OVERLAY
		BANK OF RIVER OR STREAM
		BORDER OF WETLAND
		100 FT WETLAND BUFFER
		200 FT RIVERFRONT BUFFER
		STATE HIGHWAY LAYOUT
		TOWN OR CITY LAYOUT
		COUNTY LAYOUT
		RAILROAD SIDELINE
		TOWN OR CITY BOUNDARY LINE
		PROPERTY LINE OR APPROXIMATE PROPERTY LINE
		EASEMENT

GENERAL NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, REUSING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET" (R&R).
- JOINTS BETWEEN NEW BITUMINOUS CONCRETE ROADWAY PAVEMENT AND SAWCUT EXISTING PAVEMENT SHALL BE SEALED IN ACCORDANCE WITH ITEM 453 OF THE SPECIAL PROVISIONS.
- ALL EXISTING SIGNS WITHIN THE PROJECT LIMITS SHALL BE RETAINED UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- ALL PROPOSED PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.
- DRAINAGE ELEVATIONS ARE PROVIDED FOR DESIGN PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY BY TEST PIT, THE LOCATIONS OF EXISTING UTILITIES WHICH MAY CONFLICT WITH THE PROPOSED DRAINAGE DESIGN. ANY FIELD ADJUSTMENTS REQUIRED WILL BE MADE AS APPROVED OR DIRECTED BY THE ENGINEER. ONLY AFTER THE CONTRACTOR VERIFIES ELEVATIONS FOR THE CONSTRUCTABILITY OF THE DRAINAGE SYSTEM SHALL ANY STRUCTURES BE ORDERED. ANY FIELD ADJUSTMENTS TO LINE & GRADE UP TO A DEPTH OF 5' SHALL BE INCLUDED IN THE COST OF THE PIPE. PIPE EXCAVATION GREATER THAN 5' WILL BE PAID UNDER CLASS B TRENCH EXCAVATION.
- FIELD SURVEY CONDUCTED IN OCTOBER 2013 AND PROVIDED BY BAYSIDE ENGINEERING, INC., 600 UNICORN PARK DRIVE, WOBURN, MA 01801. HORIZONTAL DATUM IS BASED ON MASS GRID SYSTEM NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO THE NAVD OF 1988.

TRAFFIC SYMBOLS

EXISTING	PROPOSED	DESCRIPTION
		CONTROLLER PHASE ACTUATED
		TRAFFIC SIGNAL HEAD (SIZE AS NOTED)
		WIRE LOOP DETECTOR (6' x 6' TYP UNLESS OTHERWISE SPECIFIED)
		VIDEO DETECTION CAMERA
		MICROWAVE DETECTOR
		PEDESTRIAN PUSH BUTTON, SIGN (DIRECTIONAL ARROW AS SHOWN) AND SADDLE
		EMERGENCY PREEMPTION CONFIRMATION STROBE LIGHT
		VEHICULAR SIGNAL HEAD
		VEHICULAR SIGNAL HEAD, OPTICALLY PROGRAMMED
		FLASHING BEACON
		PEDESTRIAN SIGNAL HEAD, (TYPE AS NOTED OR AS SPECIFIED)
		RAILROAD SIGNAL
		SIGNAL POST AND BASE (ALPHA-NUMERIC DESIGNATION NOTED)
		MAST ARM, SHAFT AND BASE (ARM LENGTH AS NOTED)
		HIGH MAST POLE OR TOWER
		SIGN AND POST
		SIGN AND POST (2 POSTS)
		MAST ARM WITH LUMINAIRE
		OPTICAL PRE-EMPTION DETECTOR
		CONTROL CABINET, GROUND MOUNTED
		CONTROL CABINET, POLE MOUNTED
		FLASHING BEACON CONTROL AND METER PEDESTAL
		LOAD CENTER ASSEMBLY
		PULL BOX 12"x12" (OR AS NOTED)
		ELECTRIC HANDHOLE 12"x24" (OR AS NOTED)
		TRAFFIC SIGNAL CONDUIT

PAVEMENT MARKINGS SYMBOLS

EXISTING	PROPOSED	DESCRIPTION
		PAVEMENT ARROW - WHITE
		LEGEND "ONLY" - WHITE
		STOP LINE - 12"
		CROSSWALK - 12" LINES SPACED 8" APART
		SOLID WHITE LINE - 6"
		SOLID WHITE SHOULDER LINE - 6"
		SOLID YELLOW LINE - 6"
		BROKEN WHITE LINE - 6"
		BROKEN YELLOW LINE - 6"
		DOTTED WHITE LINE - 6"
		DOTTED YELLOW LINE - 6"
		DOTTED WHITE LINE EXTENSION - 6"
		DOTTED YELLOW LINE EXTENSION - 6"
		DOUBLE WHITE LINE - 2 - 6" LINES
		DOUBLE YELLOW CENTERLINE - 2 - 6" LINES

ABBREVIATIONS

GENERAL	DESCRIPTION
AADT	ANNUAL AVERAGE DAILY TRAFFIC
ABAN	ABANDON
ADJ	ADJUST
APPROX.	APPROXIMATE
A.C.	ASPHALT CONCRETE
ACCM PIPE	ASPHALT COATED CORRUGATED METAL PIPE
BIT.	BITUMINOUS
BC	BOTTOM OF CURB
BD.	BOUND
BL	BASELINE
BLDG	BUILDING
BM	BENCHMARK
BO	BY OTHERS
BOS	BOTTOM OF SLOPE
BR.	BRIDGE
CB	CATCH BASIN
CBCI	CATCH BASIN WITH CURB INLET
CC	CEMENT CONCRETE
CCM	CEMENT CONCRETE MASONRY
CEM	CEMENT
CI	CURB INLET
CIP	CAST IRON PIPE
CLF	CHAIN LINK FENCE
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CSP	CORRUGATED STEEL PIPE
CO.	COUNTY
CONC	CONCRETE
CONT	CONTINUOUS
CONST	CONSTRUCTION
CR GR	CROWN GRADE
DHV	DESIGN HOURLY VOLUME
DI	DROP INLET
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DW	STEADY DON'T WALK - PORTLAND ORANGE
DWY	DRIVEWAY
ELEV (or EL.)	ELEVATION
EMB	EMBANKMENT
EOP	EDGE OF PAVEMENT
EXIST (or EX)	EXISTING
EXC	EXCAVATION
F&C	FRAME AND COVER
F&G	FRAME AND GRATE
FDN.	FOUNDATION
FLDSTN	FIELDSTONE
GAR	GARAGE
GD	GROUND
GG	GAS GATE
GI	GUTTER INLET
GIP	GALVANIZED IRON PIPE
GRAN	GRANITE
GRAV	GRAVEL
GRD	GUARD
HDW	HEADWALL
HMA	HOT MIX ASPHALT
HOR	HORIZONTAL
HYD	HYDRANT
INV	INVERT
JCT	JUNCTION
L	LENGTH OF CURVE
LB	LEACH BASIN
LP	LIGHT POLE
LT	LEFT
MAX	MAXIMUM
MB	MAILBOX
MH	MANHOLE
MHB	MASSACHUSETTS HIGHWAY BOUND
MIN	MINIMUM
NIC	NOT IN CONTRACT
NO.	NUMBER
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
P.G.L.	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
POC	POINT ON CURVE
POT	POINT ON TANGENT
PRC	POINT OF REVERSE CURVATURE
PROJ	PROJECT
PROP	PROPOSED
PSB	PLANTABLE SOIL BORROW
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
PVMT	PAVEMENT
PWW	PAVED WATER WAY

**STONEHAM
MAIN ST (ROUTE 28) AND NORTH ST**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	2	22

LEGEND, ABBREVIATIONS & GENERAL NOTES

ABBREVIATIONS (cont.)

GENERAL	DESCRIPTION
R	RADIUS OF CURVATURE
R&D	REMOVE AND DISPOSE
RCP	REINFORCED CONCRETE PIPE
RD	ROAD
RDWY	ROADWAY
REM	REMOVE
RET	RETAIN
RET WALL	RETAINING WALL
ROW	RIGHT OF WAY
RR	RAILROAD
R&R	REMOVE AND RESET
R&S	REMOVE AND STACK
RT	RIGHT
SB	STONE BOUND
SHLD	SHOULDER
SMH	SEWER MANHOLE
ST	STREET
STA	STATION
SSD	STOPPING SIGHT DISTANCE
SHLO	STATE HIGHWAY LAYOUT LINE
SW	SIDEWALK
T	TANGENT DISTANCE OF CURVE/TRUCK %
TAN	TANGENT
TEMP	TEMPORARY
TC	TOP OF CURB
TOS	TOP OF SLOPE
TYP	TYPICAL
UP	UTILITY POLE
VAR	VARIES
VERT	VERTICAL
VC	VERTICAL CURVE
WCR	WHEEL CHAIR RAMP
WG	WATER GATE
WIP	WROUGHT IRON PIPE
WM	WATER METER/WATER MAIN
X-SECT	CROSS SECTION

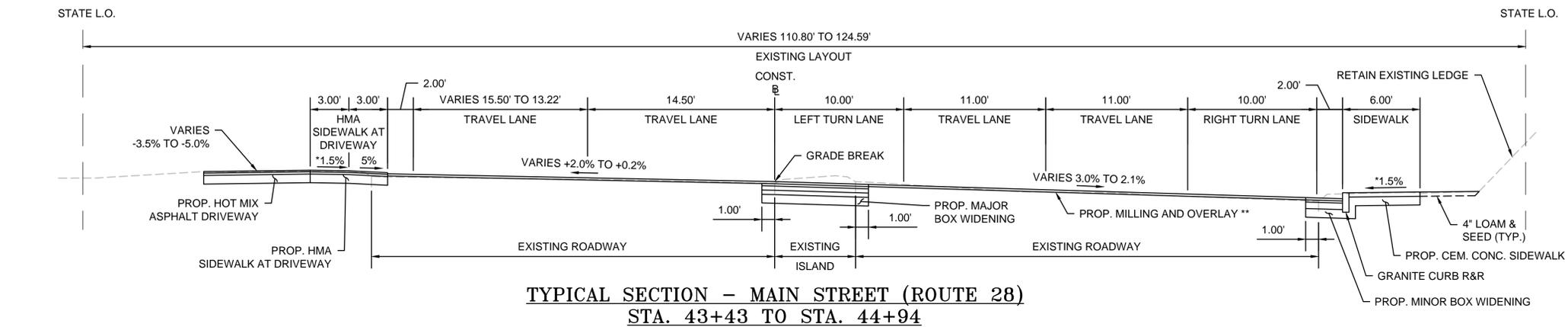
TRAFFIC SIGNAL

CAB.	CABINET
CCVE	CLOSED CIRCUIT VIDEO EQUIPMENT
DW	STEADY DON'T WALK
FDW	FLASHING DON'T WALK
FR	FLASHING CIRCULAR RED
FRL	FLASHING RED LEFT ARROW
FRR	FLASHING RED RIGHT ARROW
FY	FLASHING CIRCULAR AMBER
FYL	FLASHING AMBER LEFT ARROW
FYR	FLASHING AMBER RIGHT ARROW
G	STEADY CIRCULAR GREEN
GL	STEADY GREEN LEFT ARROW
GR	STEADY GREEN RIGHT ARROW
GSL	STEADY GREEN SLASH LEFT ARROW
GSR	STEADY GREEN SLASH RIGHT ARROW
GV	STEADY GREEN VERTICAL ARROW
OL	OVERLAP
PED	PEDESTRIAN
PTZ	PAN, TILE, ZOOM
R	STEADY CIRCULAR RED
RL	STEADY RED LEFT ARROW
RR	STEADY RED RIGHT ARROW
TR SIG	TRAFFIC SIGNAL
TSC	TRAFFIC SIGNAL CONDUIT
W	STEADY WALK
Y	STEADY CIRCULAR AMBER
YL	STEADY AMBER LEFT ARROW

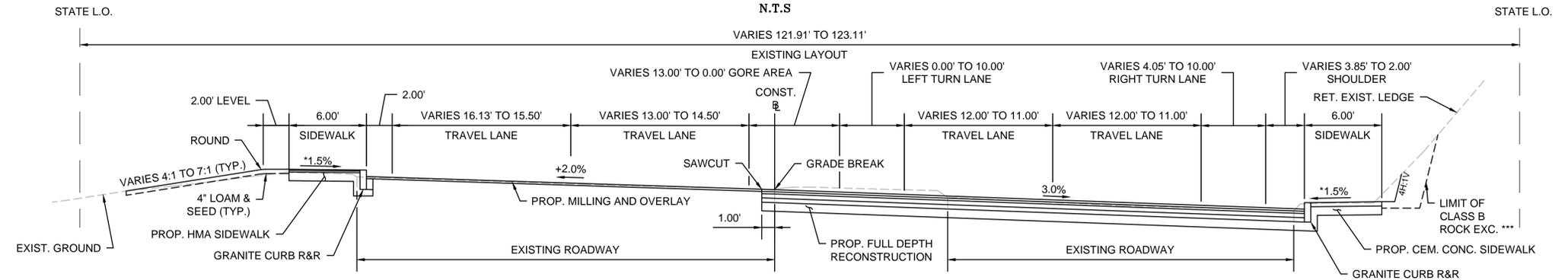
**STONEHAM
MAIN ST (ROUTE 28) AND NORTH ST**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	3	22
PROJECT FILE NO.		602165	

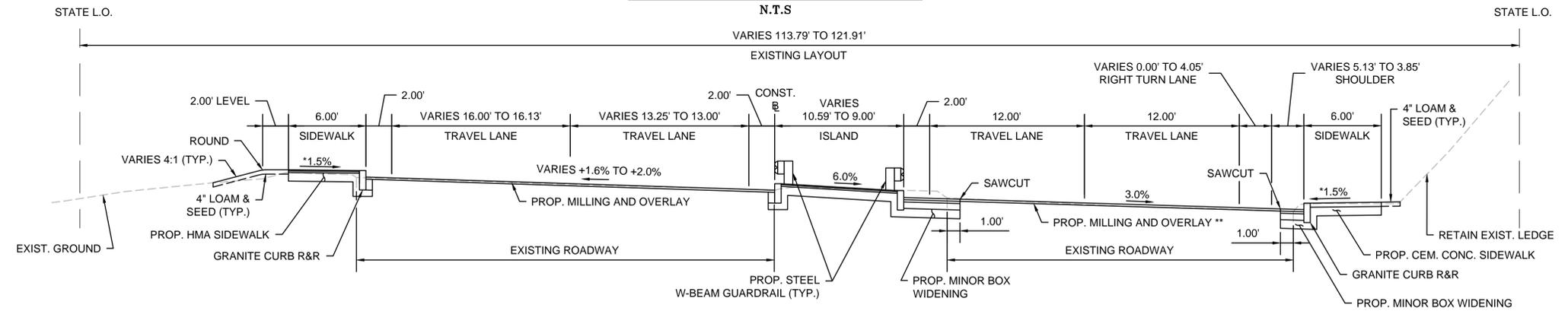
TYPICAL SECTIONS & PAVEMENT NOTES



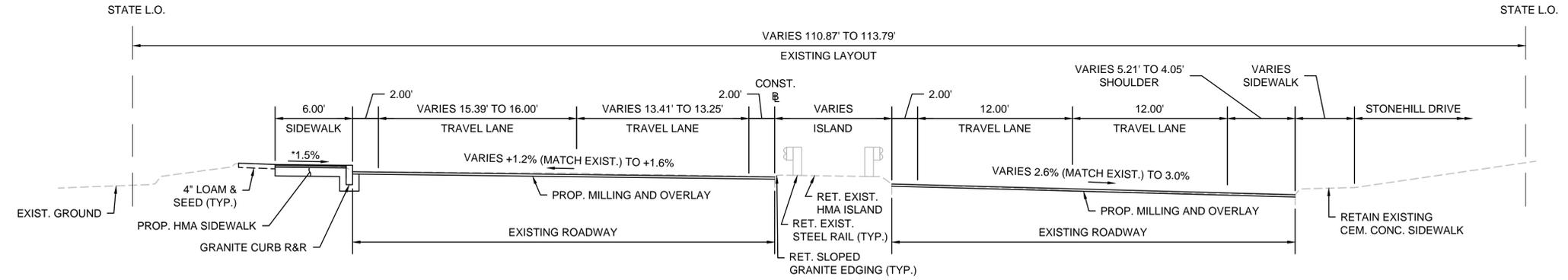
**TYPICAL SECTION - MAIN STREET (ROUTE 28)
STA. 43+43 TO STA. 44+94**



**TYPICAL SECTION - MAIN STREET (ROUTE 28)
STA. 42+40 TO STA. 43+43**



**TYPICAL SECTION - MAIN STREET (ROUTE 28)
STA. 41+51.69 TO STA. 42+40**



**TYPICAL SECTION - MAIN STREET (ROUTE 28)
STA. 40+96 TO STA. 41+51.69**

PAVEMENT NOTES:
PROPOSED PAVEMENT MILLING AND OVERLAY:
 2" SUPERPAVE SURFACE COURSE - 12.5 (SSC-12.5) OVER
 0.07 GAL/SY TACK COAT OVER
 VARIABLE DEPTH LEVELING COURSE (MIN. 2")
 SUPERPAVE INTERMEDIATE COURSE - 12.5 (SIC-12.5) OVER
 0.05 GAL/SY TACK COAT OVER
 VARIABLE DEPTH (MIN. 2 1/2") PAVEMENT MICROMILLING.

PROPOSED FULL DEPTH RECONSTRUCTION / FULL DEPTH MAJOR BOX WIDENING (GREATER THAN 4' WIDE):
 2" SUPERPAVE SURFACE COURSE - 12.5 (SSC-12.5) OVER
 0.07 GAL/SY TACK COAT OVER
 2" SUPERPAVE INTERMEDIATE COURSE - 12.5 (SIC-12.5) OVER
 0.05 GAL/SY TACK COAT OVER
 4" SUPERPAVE BASE COURSE - 37.5 (SBC-37.5) OVER
 4" DENSE GRADED CRUSHED STONE OVER
 8" GRAVEL BORROW TYPE B.

PROPOSED FULL DEPTH MINOR BOX WIDENING (LESS THAN 4' WIDE):
 2" SUPERPAVE SURFACE COURSE - 12.5 (SSC-12.5) OVER
 0.07 GAL/SY TACK COAT OVER
 2" SUPERPAVE INTERMEDIATE COURSE - 12.5 (SIC-12.5) OVER
 0.05 GAL/SY TACK COAT OVER
 6" HES CEMENT CONCRETE BASE OVER
 8" GRAVEL BORROW TYPE B.

PROPOSED HMA SIDEWALK / WALK SURFACE:
 1" SUPERPAVE SURFACE COURSE - 9.5 (SSC-9.5) OVER
 0.05 GAL/SY TACK COAT OVER
 1 1/2" SUPERPAVE INTERMEDIATE COURSE - 12.5 (SIC-12.5) OVER
 8" GRAVEL BORROW TYPE B.

PROPOSED HMA DRIVEWAYS / HMA SIDEWALK AT DRIVEWAY:
 1 1/2" SUPERPAVE SURFACE COURSE - 9.5 (SSC-9.5) OVER
 0.05 GAL/SY TACK COAT OVER
 2" SUPERPAVE INTERMEDIATE COURSE - 12.5 (SIC-12.5) OVER
 8" GRAVEL BORROW TYPE B.

PROPOSED CEMENT CONCRETE SIDEWALK / WALK / WHEELCHAIR RAMP / ISLAND:
 4" CEMENT CONCRETE
 AIR ENTRAINED 4000 PSI, 3/4" 610 OVER
 8" GRAVEL BORROW TYPE B.

PROPOSED CEMENT CONCRETE SIDEWALK AT DRIVEWAY
 6" CEMENT CONCRETE
 AIR ENTRAINED 4000 PSI, 3/4" 610 OVER
 8" GRAVEL BORROW TYPE B.

PROPOSED LAWNS AND SLOPES:
 4" LOAM AND SEED

PROPOSED MULCH AREAS:
 4" AGED PINE BARK

PROPOSED PERMANENT PATCH:
 2" SUPERPAVE SURFACE COURSE - 12.5 (SSC-12.5) OVER
 0.07 GAL/SY TACK COAT OVER
 2" PAVEMENT MICROMILLING OVER
 2" SUPERPAVE INTERMEDIATE COURSE - 19.0 (SIC-19.0) OVER
 0.05 GAL/SY TACK COAT OVER
 2" SUPERPAVE INTERMEDIATE COURSE - 19.0 (SIC-19.0) OVER
 0.05 GAL/SY TACK COAT OVER
 2" SUPERPAVE INTERMEDIATE COURSE - 19.0 (SIC-19.0) OVER
 12" GRAVEL BORROW - TYPE B OVER
 SUITABLE BACK FILL MATERIAL OR
 CONTROLLED DENSITY FILL TYPE 1E EXCAVATABLE (CONDUIT ONLY)

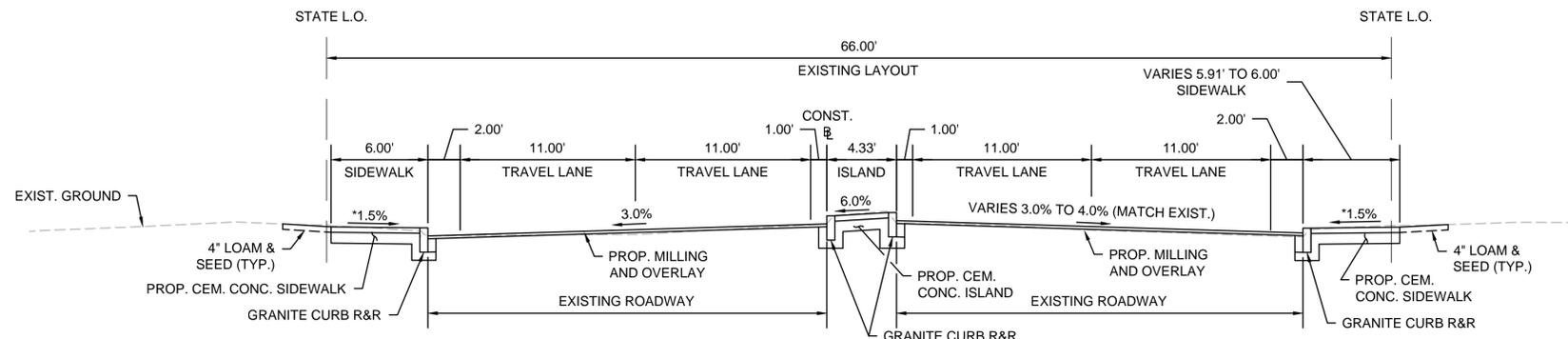
PROPOSED TEMPORARY PATCH (WITHIN ROADWAY LIMITS):
 3" HMA OVER
 12" GRAVEL BORROW TYPE B OVER
 SUITABLE BACK FILL MATERIAL OR
 CONTROLLED DENSITY FILL TYPE 1E EXCAVATABLE (CONDUIT ONLY)

NOTES:
 * CONSTRUCTION TOLERANCE ±0.5%
 ** FULL DEPTH RECONSTRUCTION AREA RT FROM STA 42+25 TO STA 44+25
 *** STA 42+30 TO STA 42+85

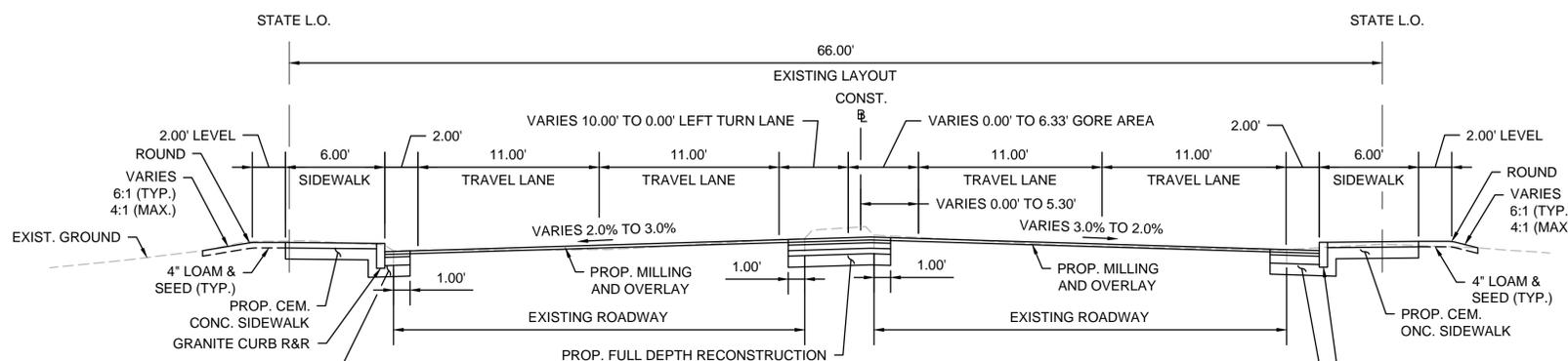
**STONEHAM
MAIN ST (ROUTE 28) AND NORTH ST**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	4	22
PROJECT FILE NO.		602165	

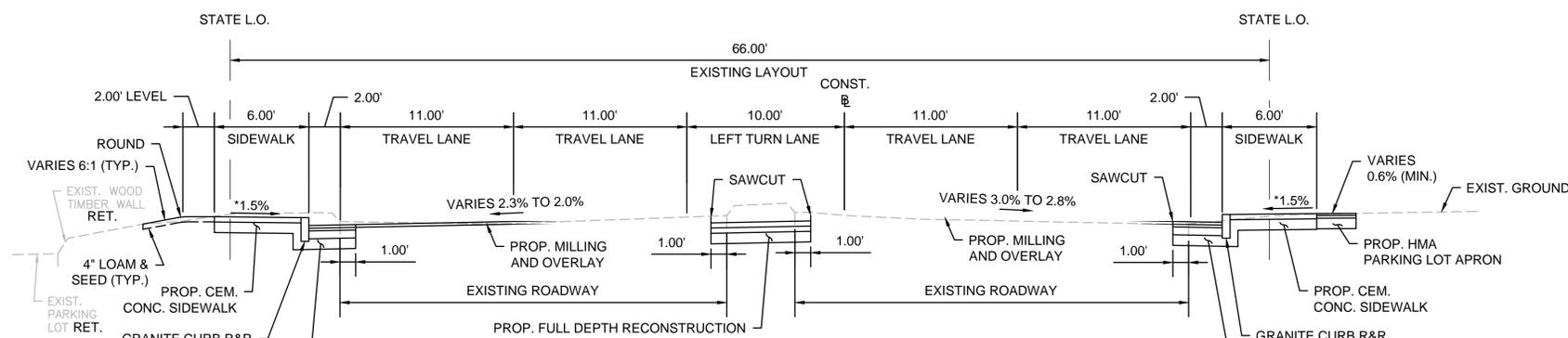
TYPICAL SECTIONS



**TYPICAL SECTION - MAIN STREET (ROUTE 28)
STA. 50+80 TO STA. 51+46
N.T.S**



**TYPICAL SECTION - MAIN STREET (ROUTE 28)
STA. 48+08 TO STA. 50+80
N.T.S**



**TYPICAL SECTION - MAIN STREET (ROUTE 28)
STA. 46+30 TO STA. 48+08
N.T.S**

* CONSTRUCTION TOLERANCE ±0.5%

HIGHWAY GUARD DETAILS

STA 41+52 RT (W-BEAM) TO
STA 42+43 RT (IMPACT ATTENUATOR TL-2)

TRAFFIC SIGNAL CONDUIT

SEE BELOW

WATER SUPPLY ALTERATIONS

SEE BELOW

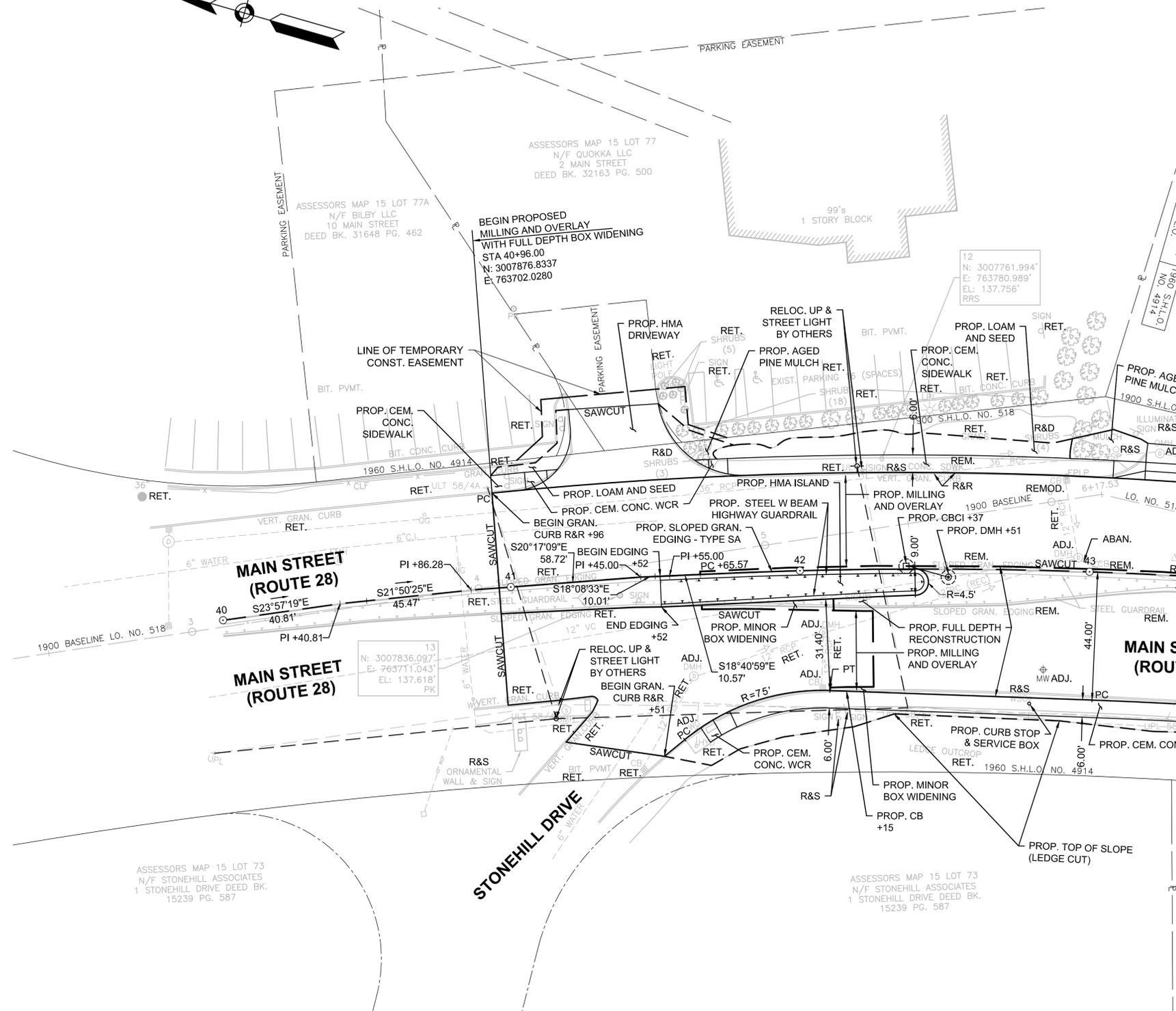
DRAINAGE DETAILS

SEE BELOW

STONEHAM
MAIN ST (ROUTE 28) AND NORTH ST

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	6	22
PROJECT FILE NO. 602165			

CONSTRUCTION PLANS



CONTINUED ON
SHEET NO. 7

NOTES:
PRIVATE UTILITY STRUCTURES NOT LABELED SHALL BE ADJUSTED BY OTHERS. (UNDERGROUND ELEC., TELE., & GAS, ETC.)

- CB, DMH ADJ/REMODEL = • ADJUST/REMODEL STRUCTURE
- R&D EXIST. F&G OR COVER
- PROVIDE NEW F&G OR COVER

ALL NEW F&G WITHIN THE SHLO SHALL BE UPDATED TO HOOK LOCK MASSDOT CASCADE TYPE.



SCALE: 1" = 20'
FOR PROFILE: SEE SHEET NO. 9

HIGHWAY GUARD DETAILS

NONE

TRAFFIC SIGNAL CONDUIT

SEE BELOW

WATER SUPPLY ALTERATIONS

SEE BELOW

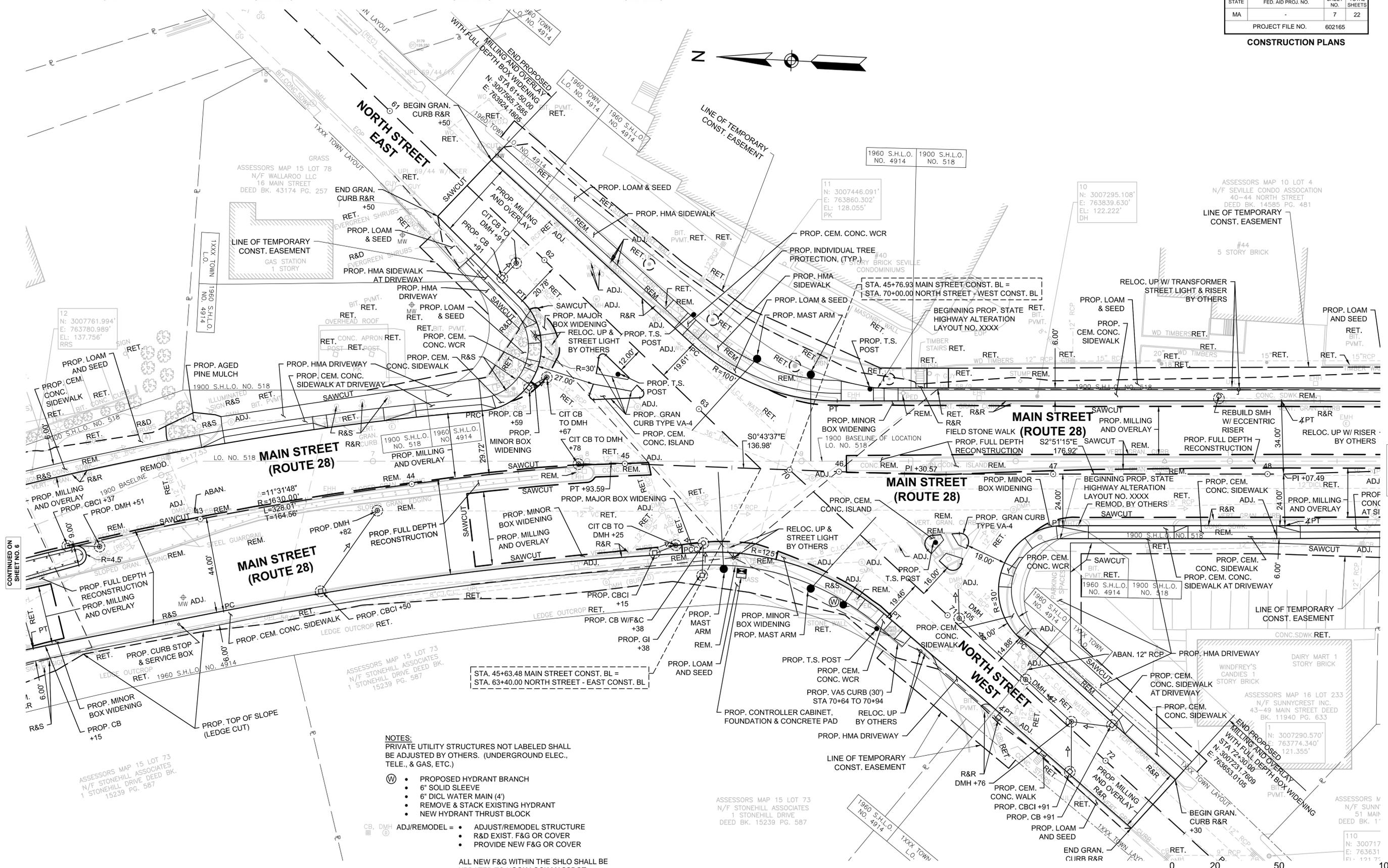
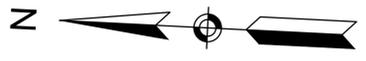
DRAINAGE DETAILS

SEE BELOW

STONEHAM
MAIN ST (ROUTE 28) AND NORTH ST

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	7	22
PROJECT FILE NO.		602165	

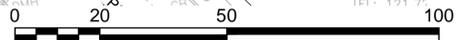
CONSTRUCTION PLANS



NOTES:
PRIVATE UTILITY STRUCTURES NOT LABELED SHALL BE ADJUSTED BY OTHERS. (UNDERGROUND ELEC., TELE., & GAS, ETC.)

- (W) • PROPOSED HYDRANT BRANCH
 - 6" SOLID SLEEVE
 - 6" DI CL WATER MAIN (4')
 - REMOVE & STACK EXISTING HYDRANT
 - NEW HYDRANT THRUST BLOCK
- CB, DMH ADJ/REMODEL = • ADJUST/REMODEL STRUCTURE
 - R&D EXIST. F&G OR COVER
 - PROVIDE NEW F&G OR COVER

ALL NEW F&G WITHIN THE SHLO SHALL BE UPDATED TO HOOK LOCK MASSDOT CASCADE TYPE.



SCALE: 1" = 20'
FOR PROFILE: SEE SHEETS NO. 10 & 12

CONTINUED ON SHEET NO. 6

CONTINUED ON SHEET NO. 8

HIGHWAY GUARD DETAILS

NONE

TRAFFIC SIGNAL CONDUIT

SEE BELOW

WATER SUPPLY ALTERATIONS

SEE BELOW

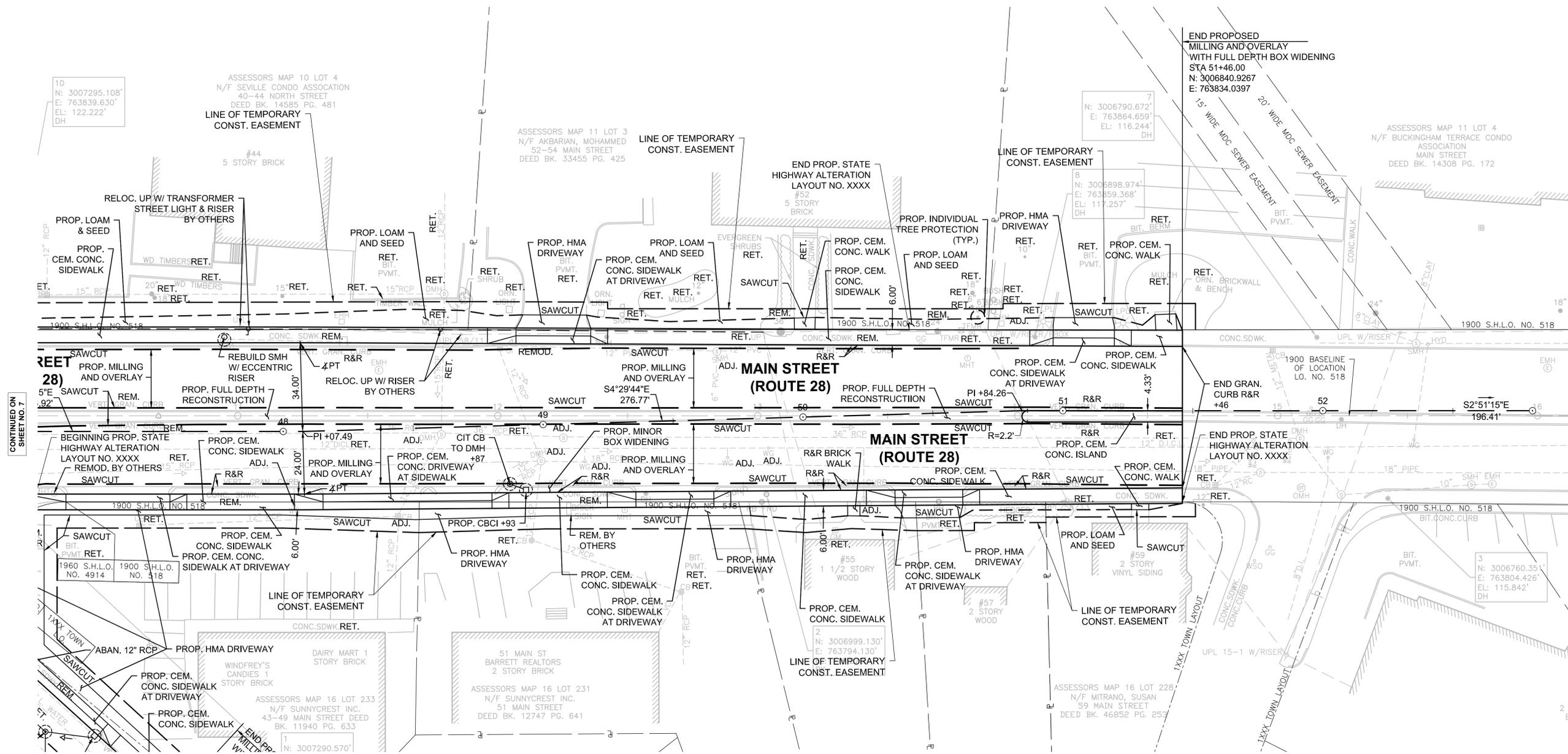
DRAINAGE DETAILS

SEE BELOW

STONEHAM
MAIN ST (ROUTE 28) AND NORTH ST

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	8	22
PROJECT FILE NO. 602165			

CONSTRUCTION PLANS

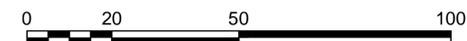


CONTINUED ON
SHEET NO. 7.

NOTES:
PRIVATE UTILITY STRUCTURES NOT LABELED SHALL
BE ADJUSTED BY OTHERS. (UNDERGROUND ELEC.,
TELE., & GAS, ETC.)

- CB, DMH ADJ./REMODEL = • ADJUST/REMODEL STRUCTURE
- R&D EXIST. F&G OR COVER
- PROVIDE NEW F&G OR COVER

ALL NEW F&G WITHIN THE SHLO SHALL BE
UPDATED TO HOOK LOCK MASSDOT
CASCADE TYPE.

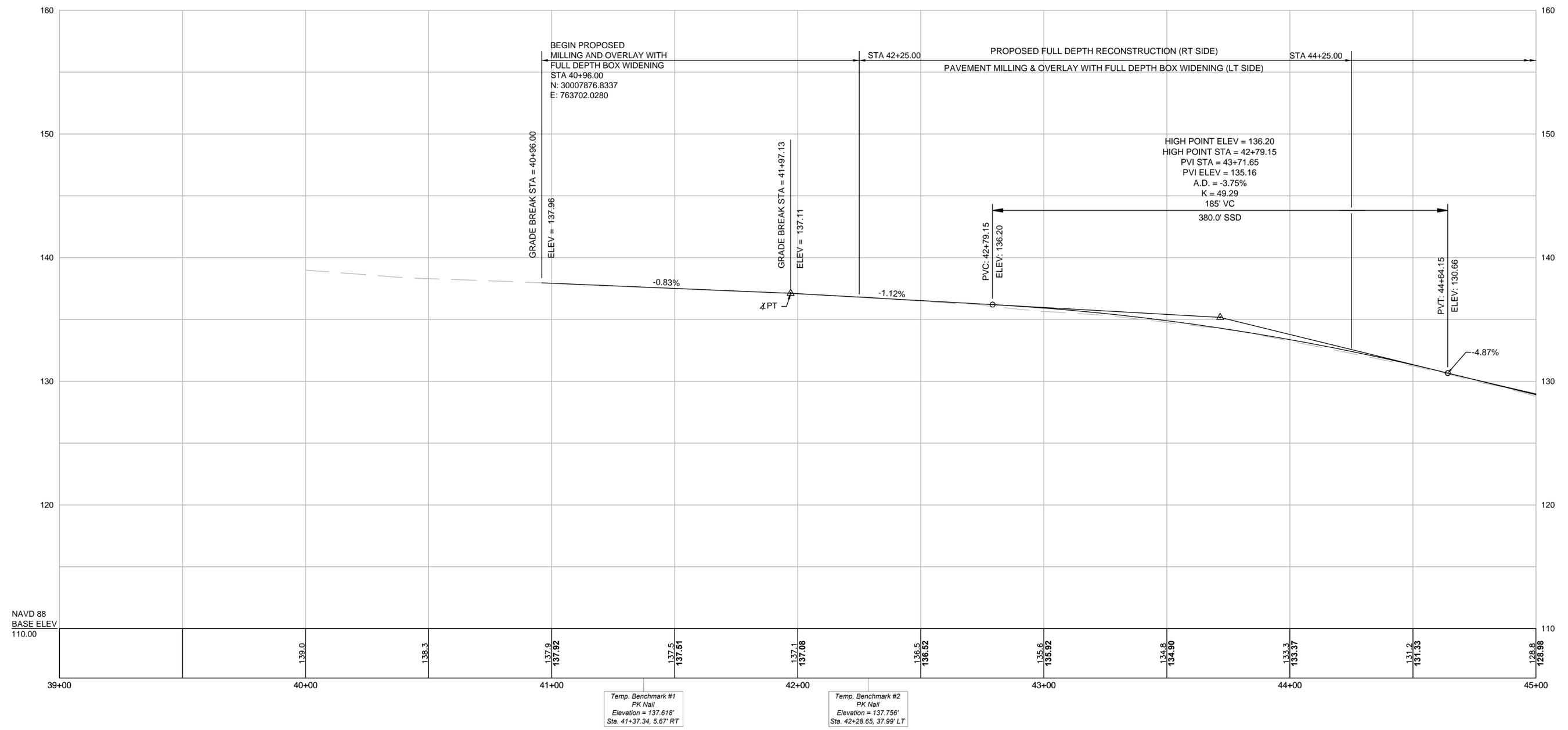


SCALE: 1" = 20'
FOR PROFILE: SEE SHEET NO. 11

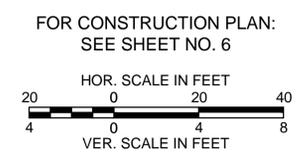
**STONEHAM
MAIN ST (ROUTE 28) AND NORTH ST**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	9	22
PROJECT FILE NO.		602165	

PROFILE - MAIN STREET



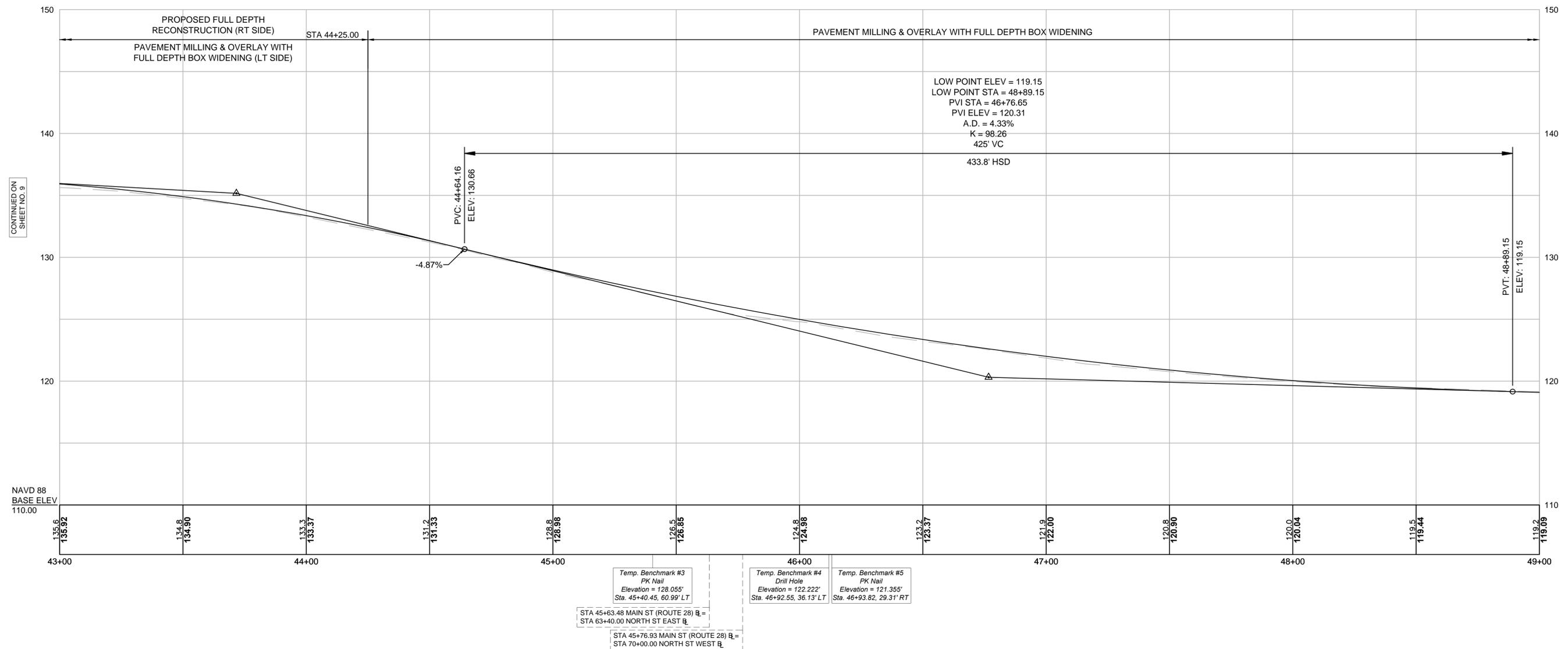
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SHEET NO. 10



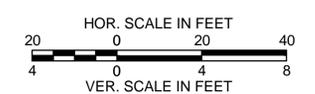
**STONEHAM
MAIN ST (ROUTE 28) AND NORTH ST**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	10	22
PROJECT FILE NO. 602165			

PROFILE - MAIN STREET



FOR CONSTRUCTION PLAN:
SEE SHEET NO. 7



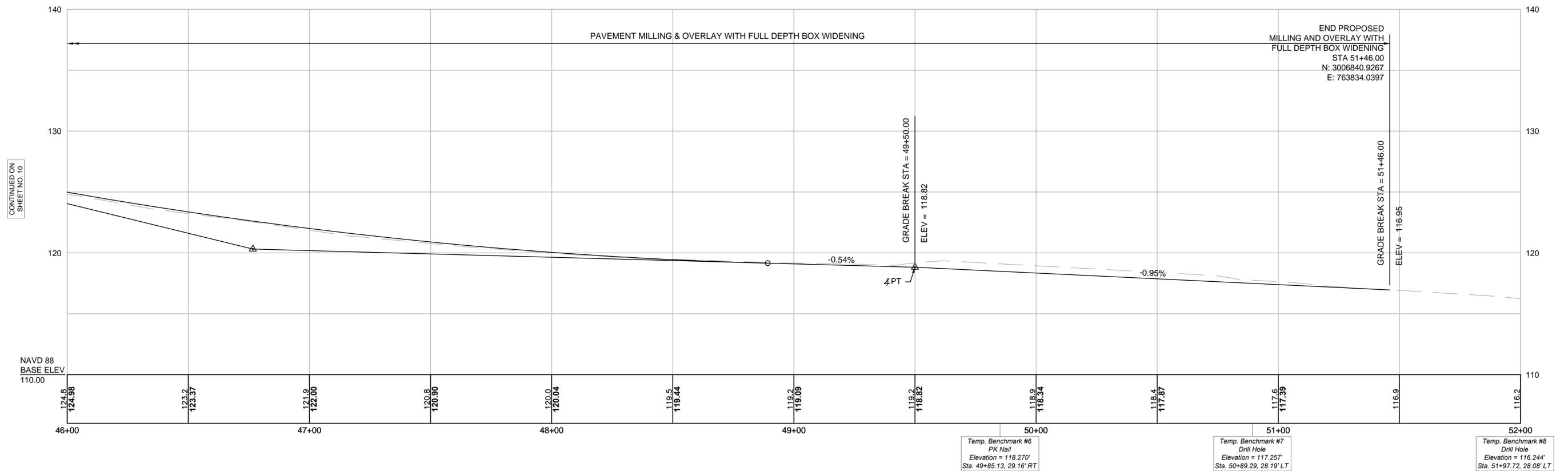
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SHEET NO. 9

CONTINUED ON
SHEET NO. 11

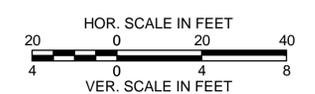
STONEHAM
MAIN ST (ROUTE 28) AND NORTH ST

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	11	22
PROJECT FILE NO.		602165	

PROFILE - MAIN STREET



FOR CONSTRUCTION PLAN:
SEE SHEET NO. 8



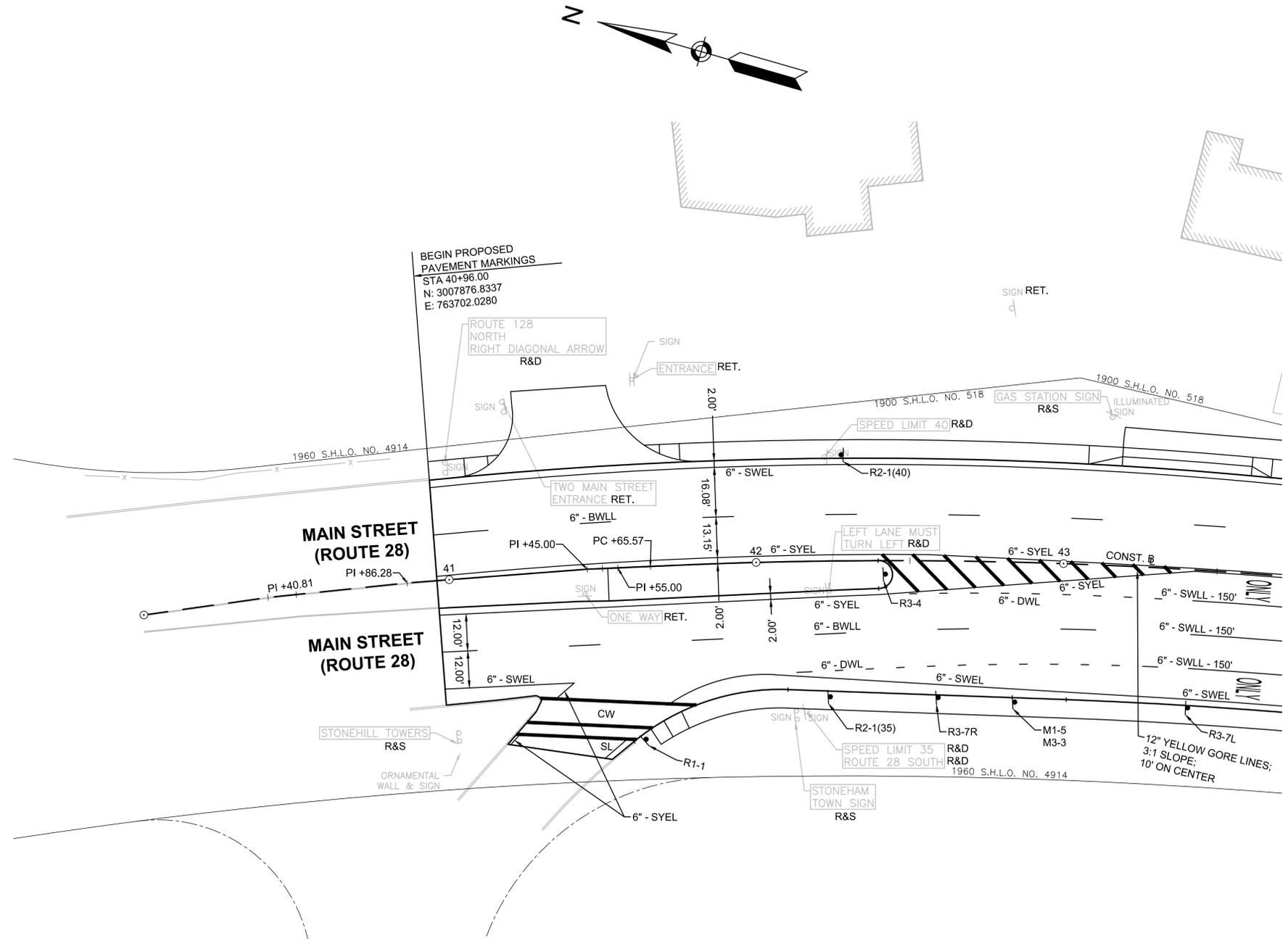
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SHEET NO. 10

STONEHAM
 MAIN ST (ROUTE 28) AND NORTH ST

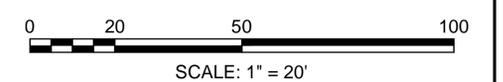
STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	13	22
PROJECT FILE NO.		602165	

TRAFFIC SIGNAL, SIGNS & PAVEMENT MARKINGS

602165HD10(PAVE MARK AND SIGNS).DWG Plotted on: 29-May-2014 7:17 AM



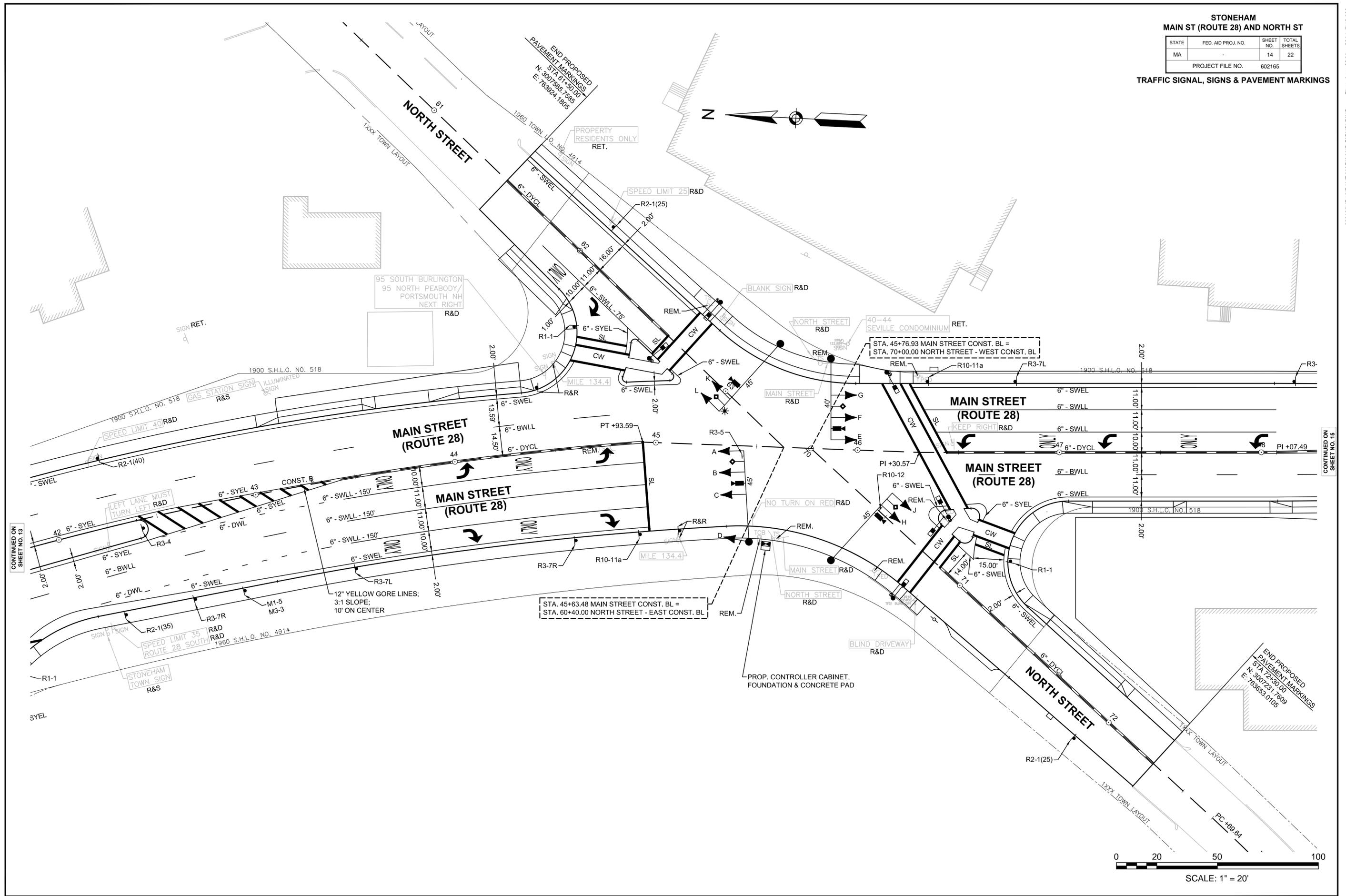
CONTINUED ON
 SHEET NO. 14



**STONEHAM
MAIN ST (ROUTE 28) AND NORTH ST**

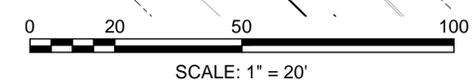
STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	14	22
PROJECT FILE NO. 602165			

TRAFFIC SIGNAL, SIGNS & PAVEMENT MARKINGS



CONTINUED ON SHEET NO. 13

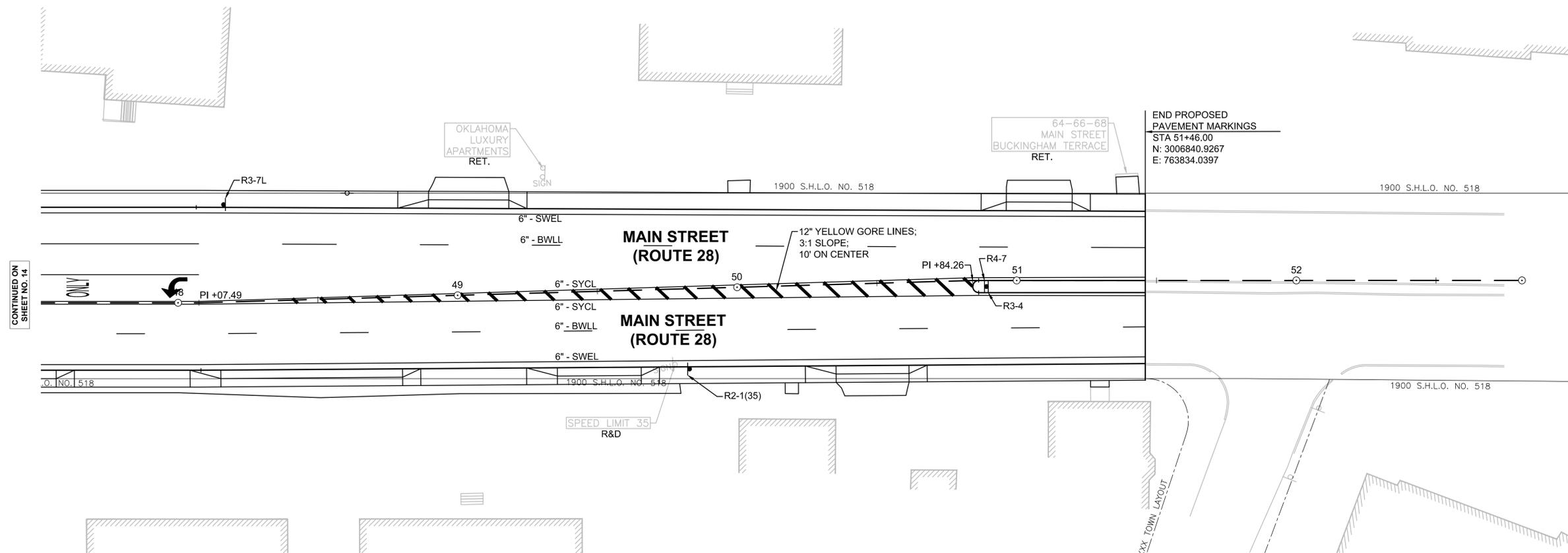
CONTINUED ON SHEET NO. 15



STONEHAM
 MAIN ST (ROUTE 28) AND NORTH ST

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	15	22
PROJECT FILE NO.		602165	

TRAFFIC SIGNAL, SIGNS & PAVEMENT MARKINGS



CONTINUED ON
SHEET NO. 14

END PROPOSED
 PAVEMENT MARKINGS
 STA 51+46.00
 N: 3006840.9267
 E: 763834.0397



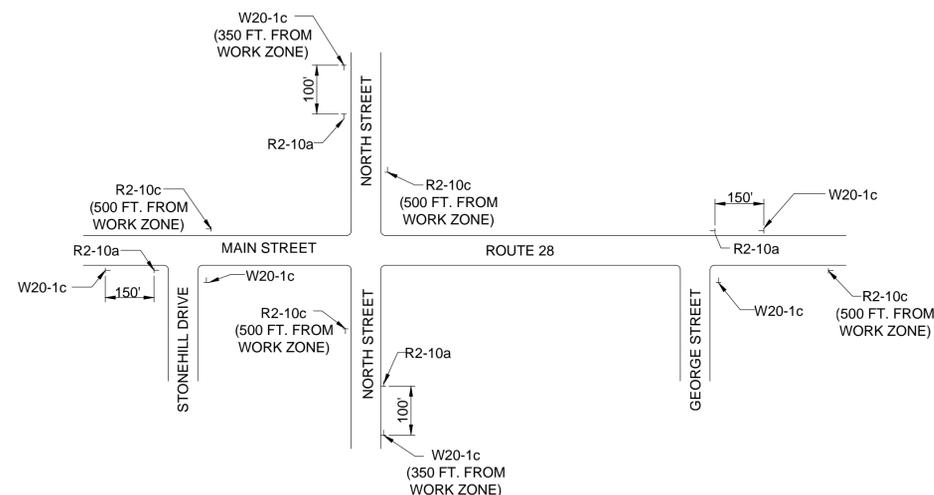
**STONEHAM
MAIN ST (ROUTE 28) AND NORTH ST**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	17	22
PROJECT FILE NO.		602165	

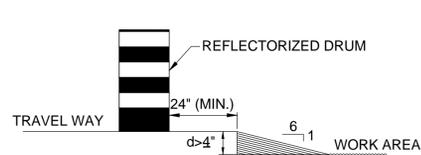
TEMPORARY TRAFFIC CONTROL PLANS

TRAFFIC MANAGEMENT NOTES:

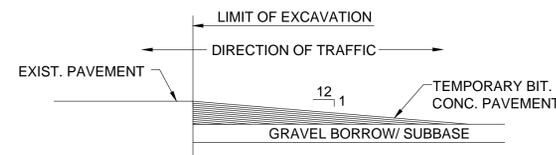
- INSTALL AND/OR RELOCATE TEMPORARY SIGNS, DRUMS, AND OTHER TRAFFIC MAINTENANCE DEVICES AS REQUIRED.
- ALL CONSTRUCTION SIGNING AND OTHER TRAFFIC MAINTENANCE DEVICES SHALL CONFORM WITH THE 2009 MUTCD AS AMENDED.
- REMOVE OR COVER ALL TEMPORARY SIGNS, DRUMS AND OTHER TRAFFIC MAINTENANCE DEVICES THAT ARE NOT REQUIRED ON THE COMPLETION OF THE WORK, EACH DAY. THIS PARTICULARLY APPLIES TO THE W20-8 SIGNS, WHICH SHALL BE COMPLETELY COVERED OR REMOVED AT THE END OF EACH DAY.
- CONTRACTOR SHALL USE TEMPORARY PATCHING OR BEVELED STEEL PLATES TO COVER CONDUIT TRENCHES NOT COMPLETED IN A DAYS WORK.
- ALL DISTANCES MAY BE ADJUSTED TO FIT FIELD CONDITIONS, AS DIRECTED BY THE ENGINEER.
- ACCESS TO ABUTTERS SHALL REMAIN OPEN AT ALL TIMES.
- NO SIGNS SHALL BE ATTACHED TO DRUMS OR CONES. ALL CONSTRUCTION SIGNS SHALL BE ATTACHED TO THEIR OWN INDEPENDENT SUPPORTS AND MEET NCHRP 350 STANDARDS.
- NO SIGNS SHALL BE VISIBLE TO TRAFFIC THAT MAY CONFLICT WITH ACTUAL CONDITIONS.
- PAVEMENT MARKINGS NO LONGER APPLICABLE WHICH MIGHT CREATE CONFUSION SHALL BE OBLITERATED. TEMPORARY PAVEMENT MARKINGS SHALL BE USED AS NECESSARY AND SHALL BE IN PLACE BEFORE WORK IS COMPLETED EACH NIGHT.
- THE MAXIMUM SPACING BETWEEN CHANNELIZING DEVICES IN A TAPER (IN FEET) SHOULD BE APPROXIMATELY EQUAL TO THE SPEED LIMIT (IN MPH).
- PEDESTRIANS SHOULD BE PROVIDED WITH A SAFE CONVENIENT TRAVEL PATH THROUGH THE CONSTRUCTION ZONE FOR THE DURATION OF CONSTRUCTION BY USE OF APPROPRIATE TRAFFIC MAINTENANCE DEVICES AND/OR A POLICE OFFICER (DURING WORK HOURS). IF THE AREAS OF SIDEWALK NEED TO BE CLOSED OVERNIGHT, THE CONTRACTOR SHALL MAKE ALL REASONABLE PROVISIONS TO KEEP A SAFE PATHWAY OPEN FOR PEDESTRIANS.
- LOCATION OF W11-2, W16-7P AND R9-11 SIGNS TO BE APPROVED BY THE ENGINEER WHO WILL DETERMINE THE NECESSITY FOR PROVIDING TEMPORARY CROSSWALKS.
- DURING EACH PHASE, EDGES OF WORK MUST BE DELINEATED WITH REFLECTORIZED DRUMS.
- ONE LANE OPERATION SHALL NOT BE IN OPERATION DURING PEAK HOURLY VOLUMES WHICH OCCUR BETWEEN THE HOURS OF 7:00 AM TO 9:00 AM AND 3:30 PM TO 6:00 PM.



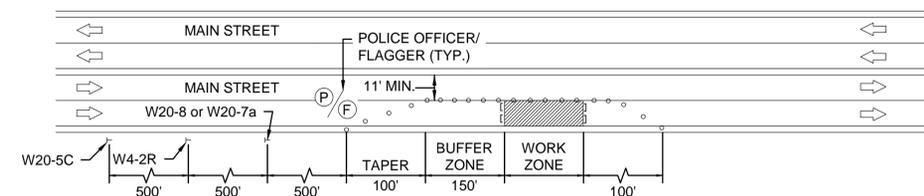
TYPICAL ADVANCE WARNING SIGN INSTALLATION
NOT TO SCALE



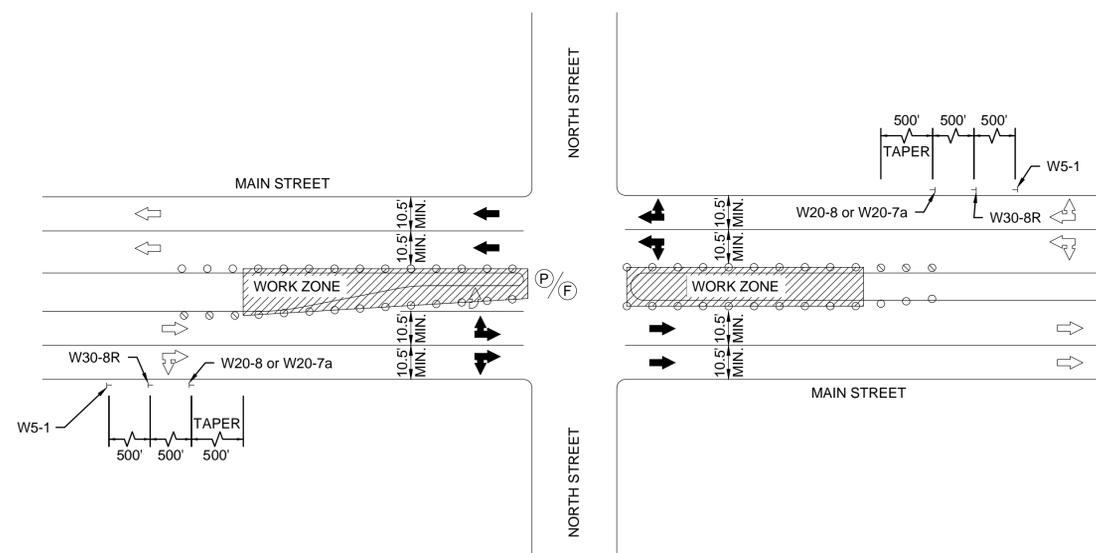
LATERAL DROP-OFF DETAIL
NOT TO SCALE



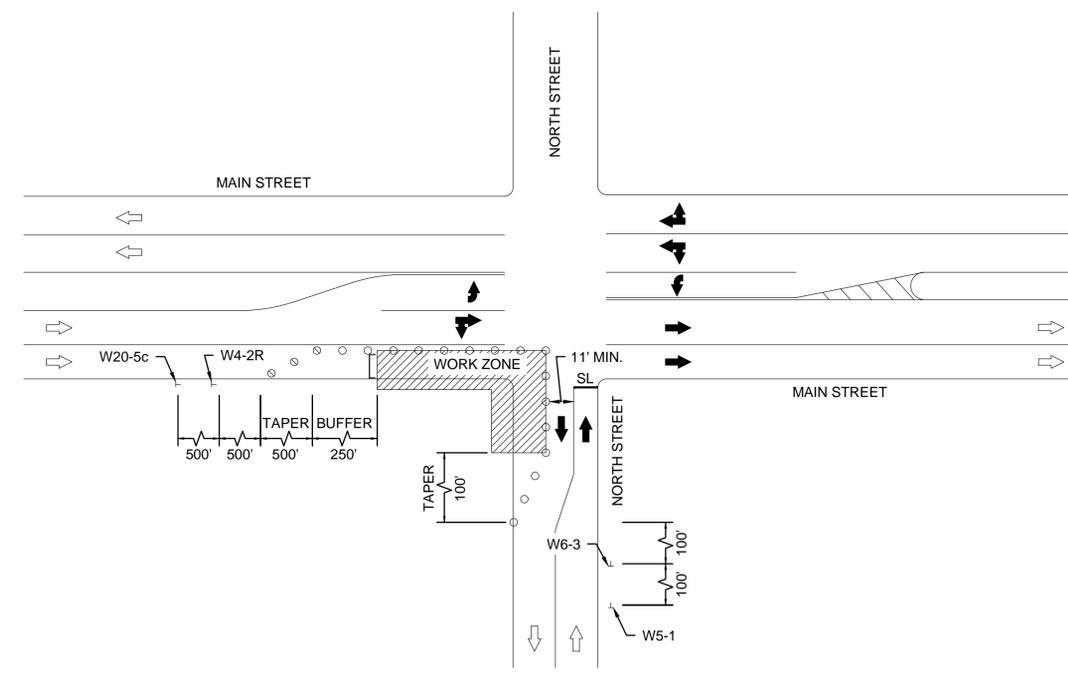
LONGITUDINAL DROP-OFF DETAIL
NOT TO SCALE



TYPICAL SHORT TERM LANE CLOSURE
(RIGHT SIDE WORK ZONE - MIRROR IMAGE FOR LEFT SIDE WORK ZONE)
NOT TO SCALE



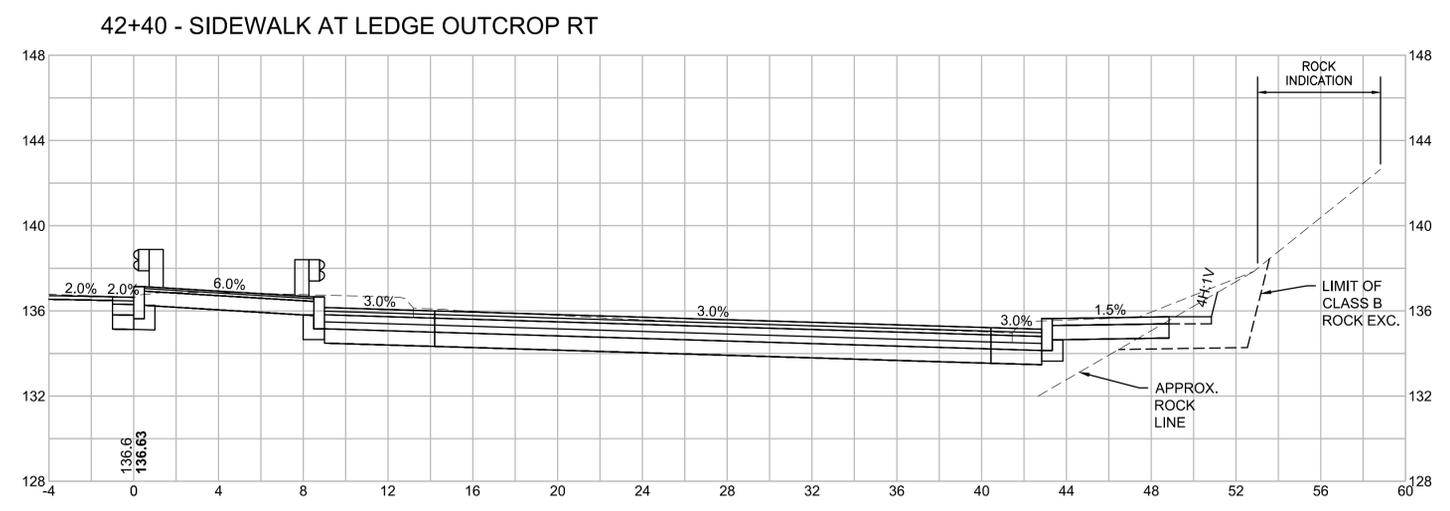
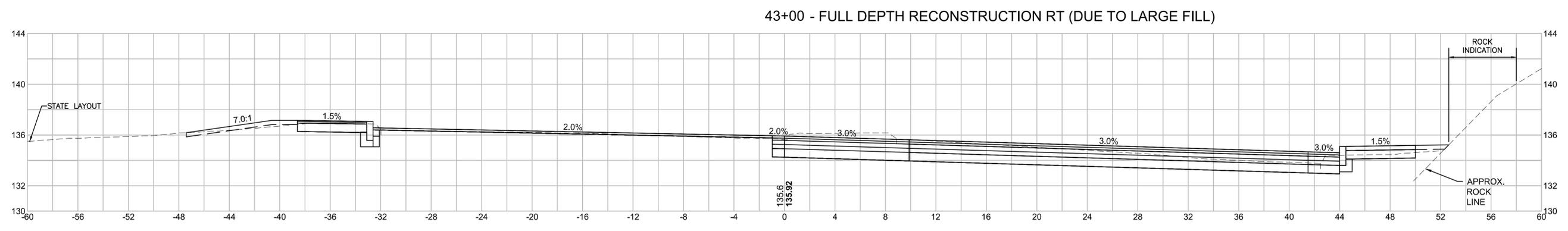
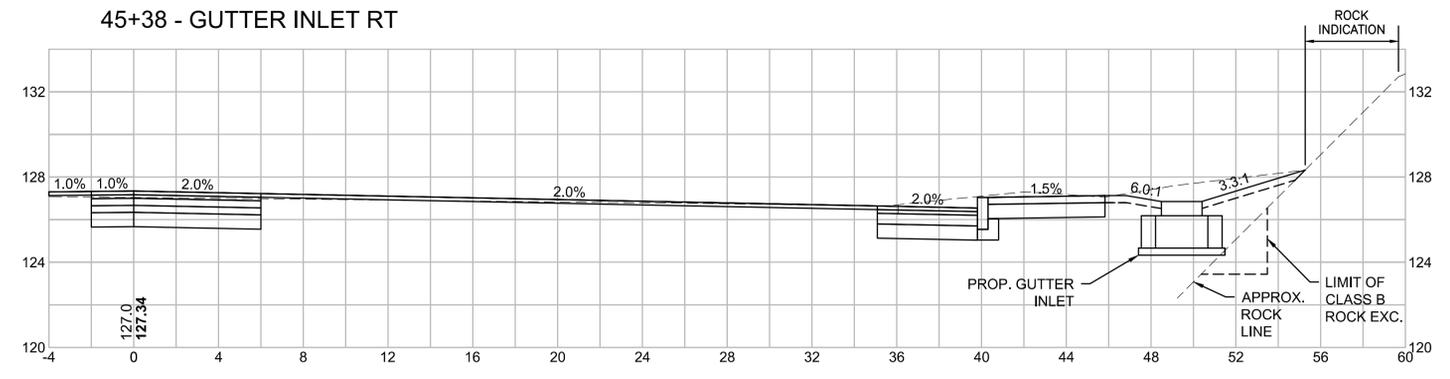
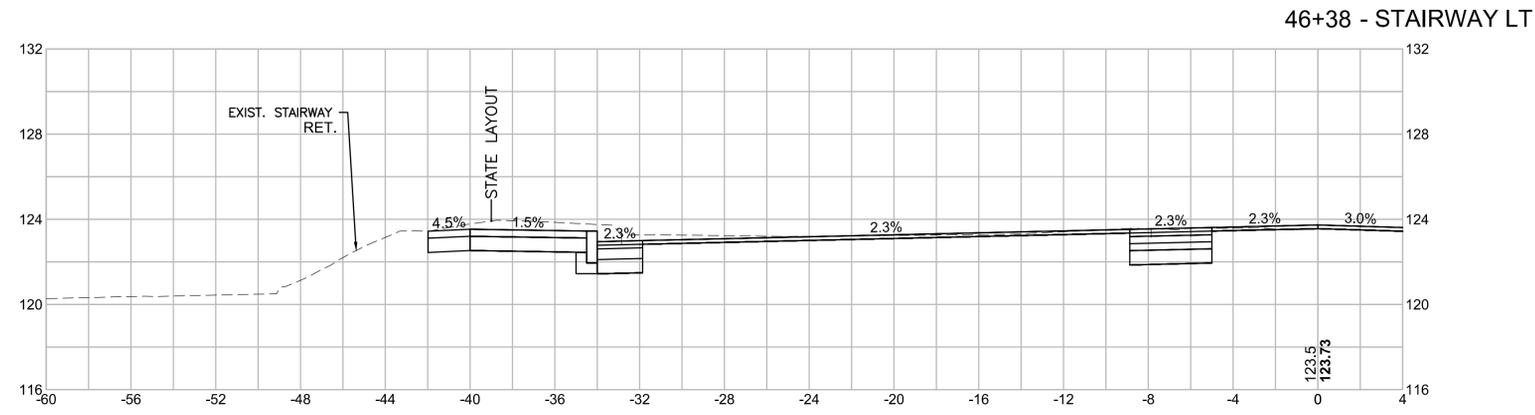
TYPICAL TEMPORARY CENTER OF ROAD CONSTRUCTION DETAIL
FOR MAIN LINE
NOT TO SCALE



TYPICAL QUADRANT CLOSURE
(RIGHT SIDE WORK ZONE SHOWN - MIRROR IMAGE FOR LEFT SIDE WORK ZONE)
NOT TO SCALE

LEGEND

	WORK AREA
	REFLECTIVE DRUM
	REFLECTIVE DRUM W/ FLASHER (TYPE A)
	EXISTING DIRECTION OF TRAVEL
	PROPOSED DIRECTION OF TRAVEL
	TRAFFIC OFFICER OR FLAGGER
	PORTABLE BREAKAWAY BARRICADE TYPE III
	TEMPORARY SIGN
	PAVEMENT MARKINGS TO COVER OR REMOVE

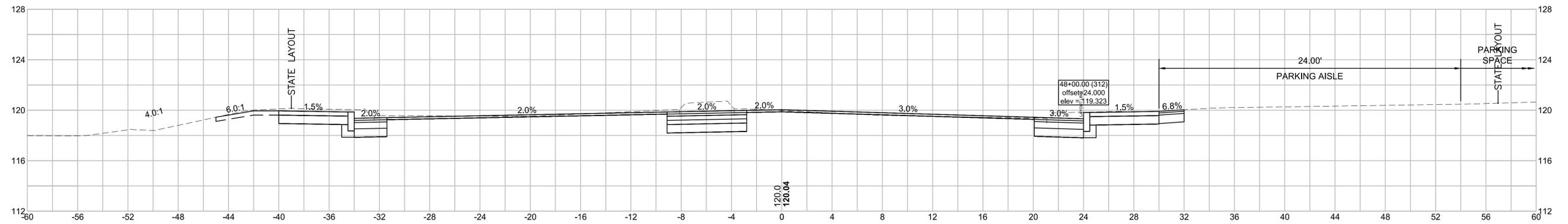


**STONEHAM
MAIN ST (ROUTE 28) AND NORTH ST**

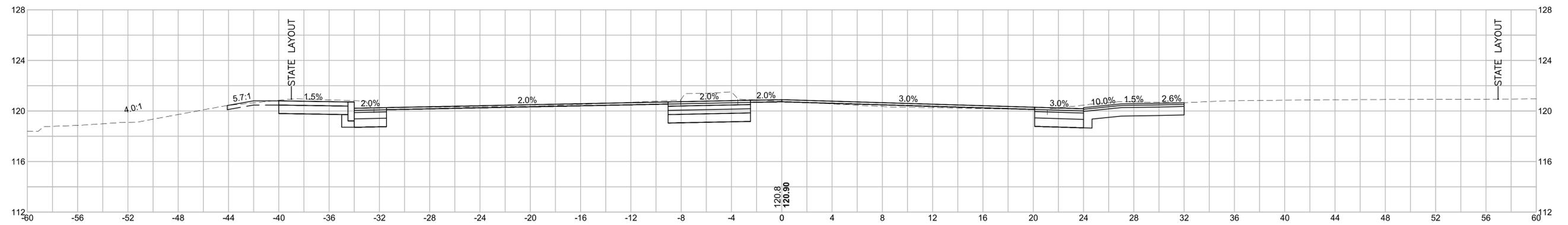
STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	19	22
PROJECT FILE NO.		602165	

**CRITICAL CROSS SECTIONS
MAIN STREET (ROUTE 28)**

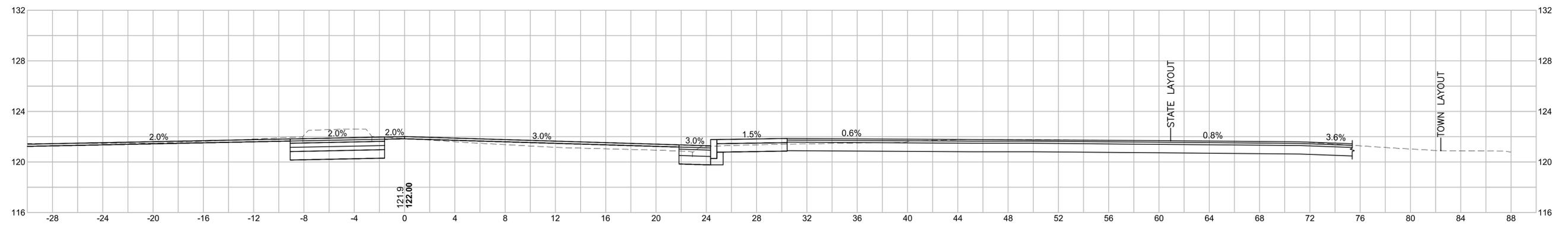
48+00 - PRESERVE EXIST. PARKING AISLE RT



47+50



47+00 - PARKING LOT RT

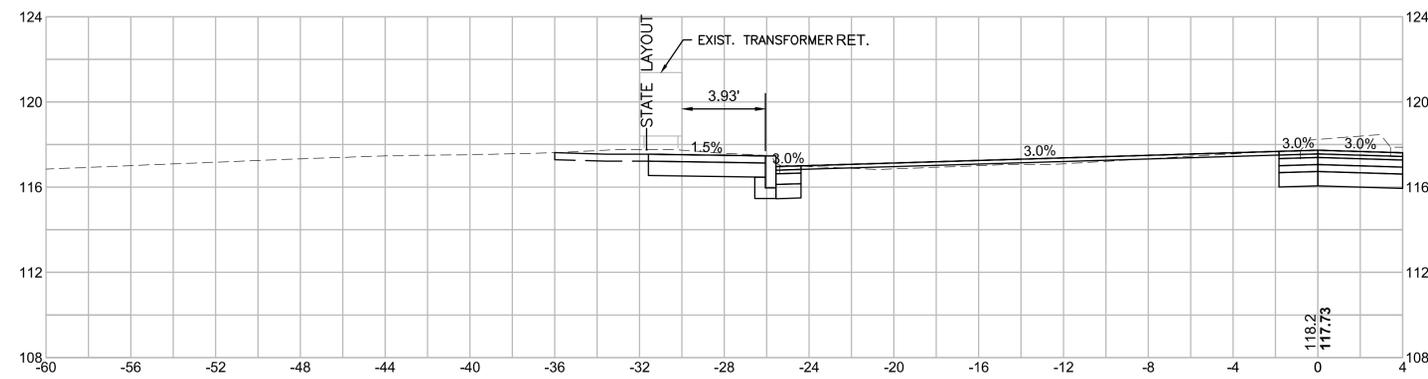


STONEHAM
MAIN ST (ROUTE 28) AND NORTH ST

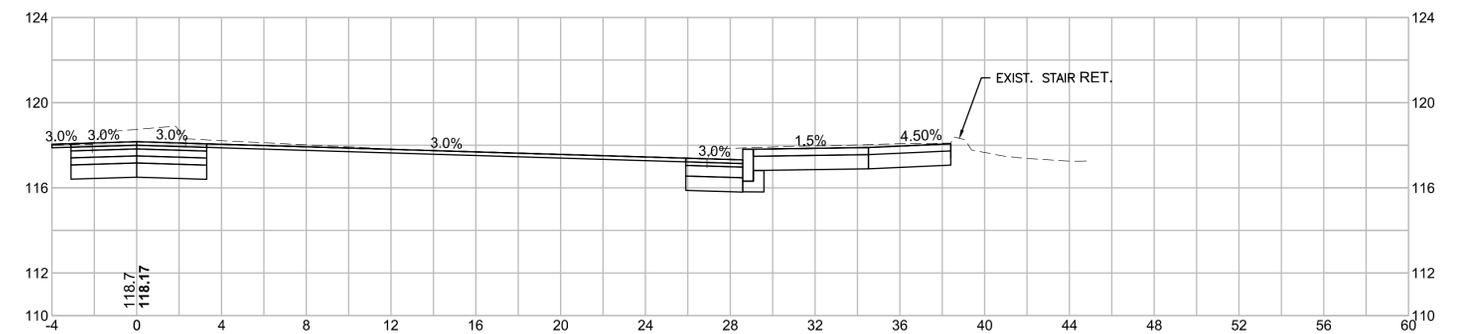
STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	20	22
PROJECT FILE NO. 602165			

CRITICAL CROSS SECTIONS
MAIN STREET (ROUTE 28)

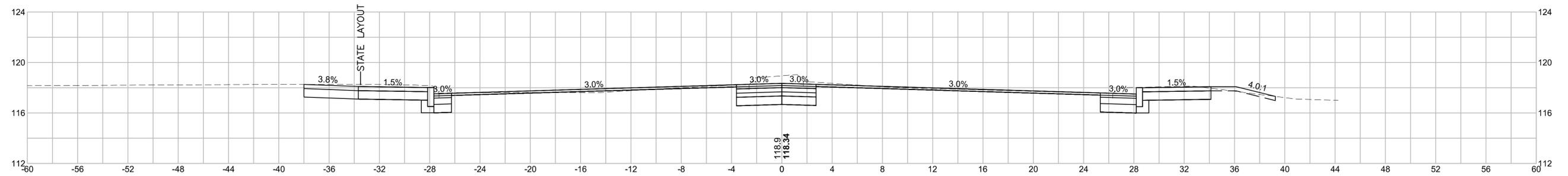
50+64 - TRANSFORMER LT



50+18.48 - CEM. CONC. WALKWAY RT



50+00 - CEM. CONC. WALKWAY LT

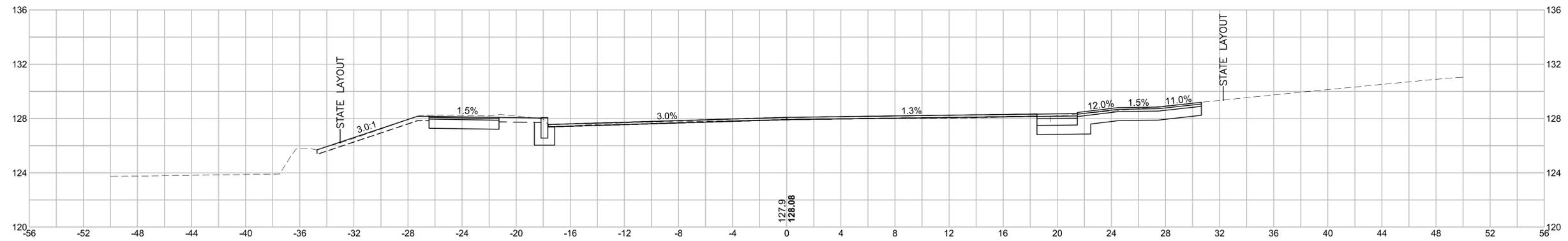


STONEHAM
MAIN ST (ROUTE 28) AND NORTH ST

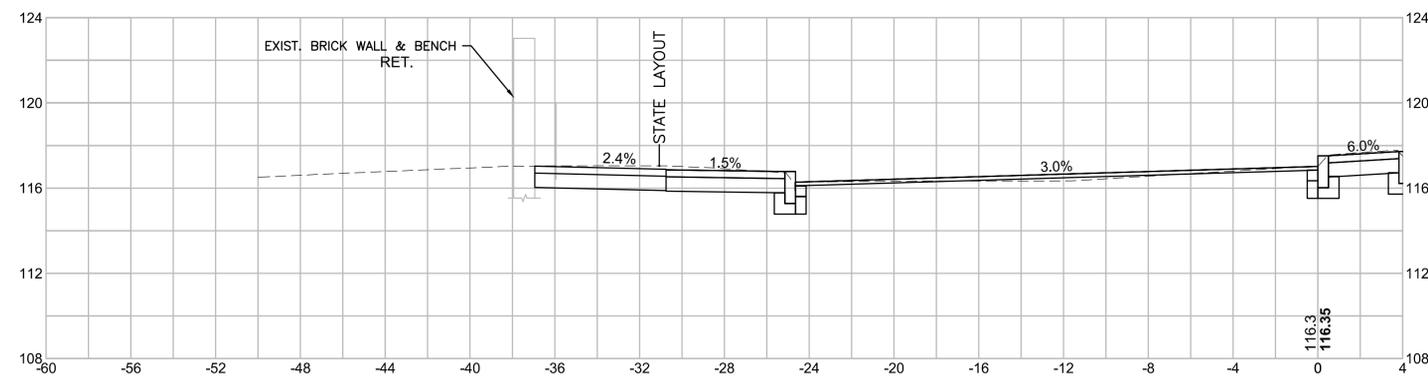
STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	21	22
PROJECT FILE NO.		602165	

CRITICAL CROSS SECTIONS
MAIN STREET (ROUTE 28) & NORTH STREET EAST

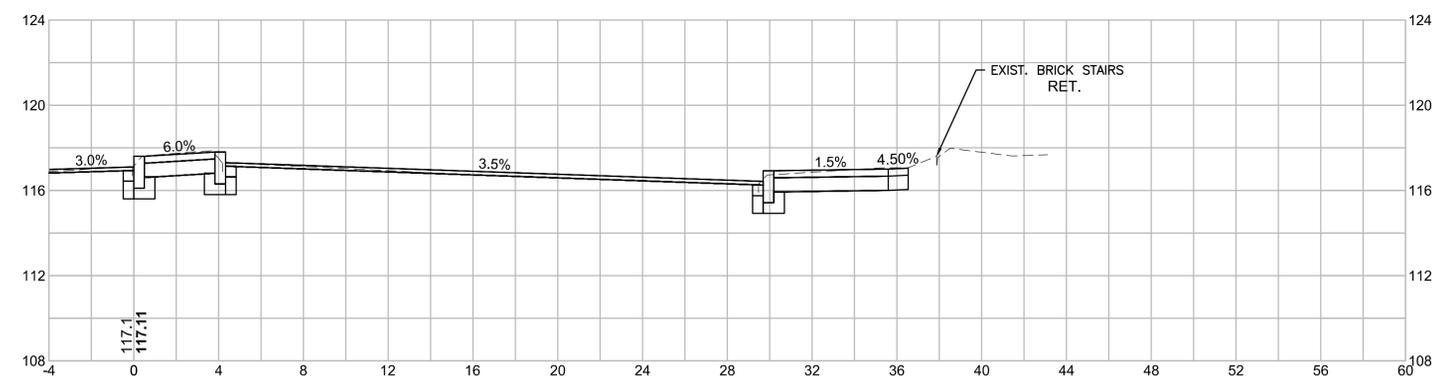
62+00 - NORTH STREET EAST - 3:1 SLOPE LT, DRIVEWAY RT



51+39.44 - CEM. CONC. WALKWAY LT



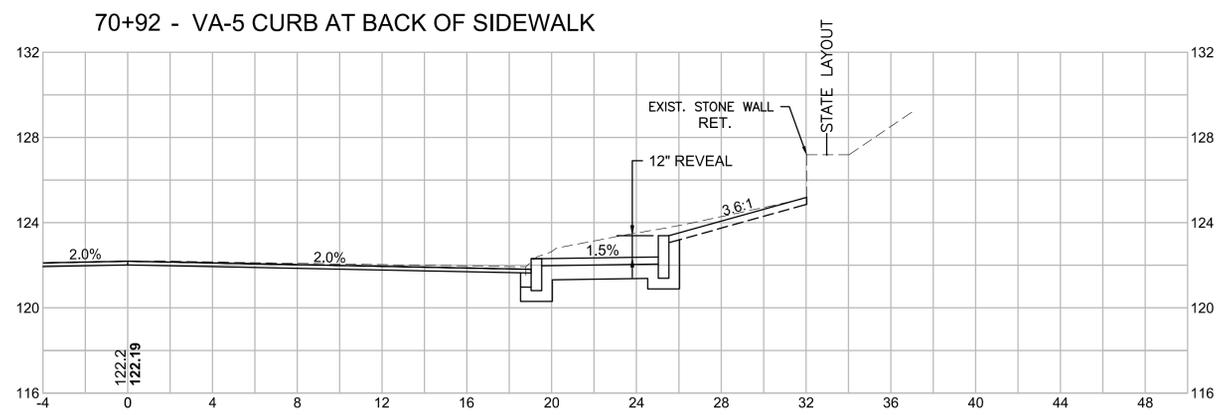
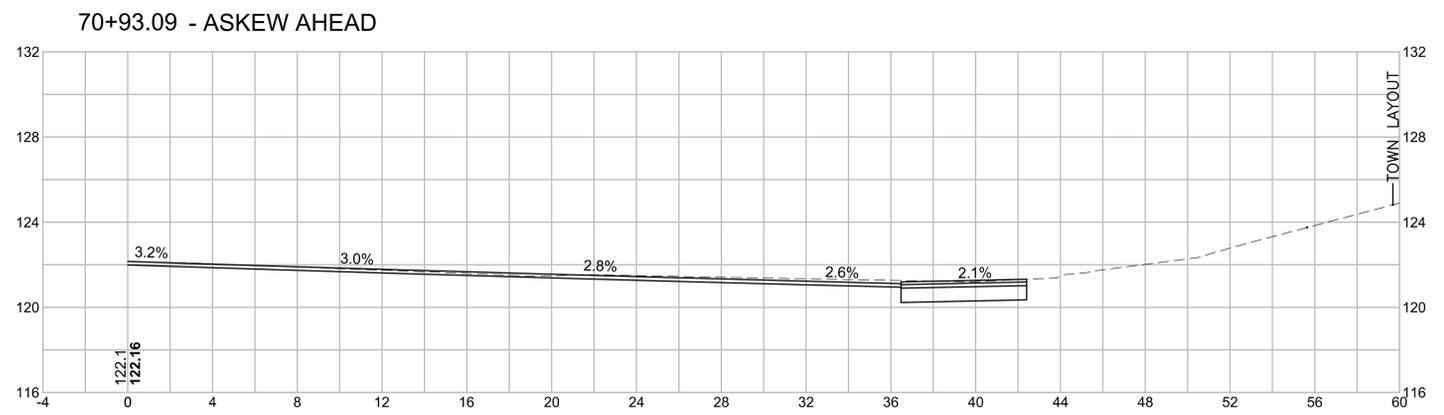
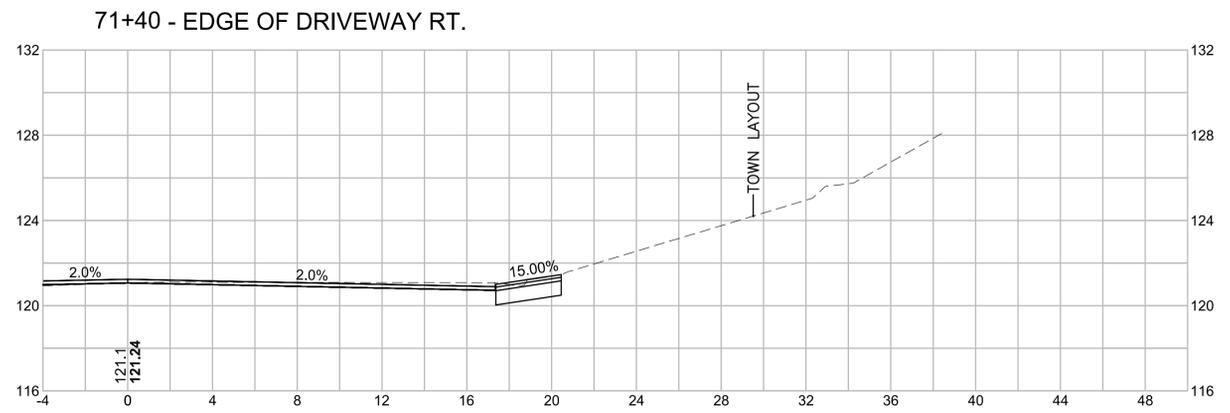
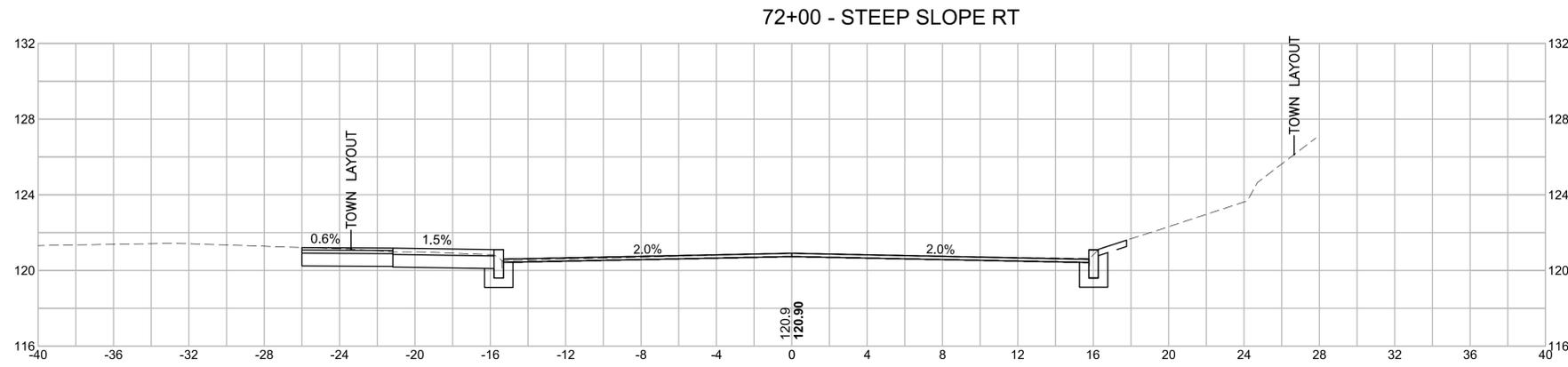
51+30 - CEM. CONC. WALK & BRICK STAIRS RT

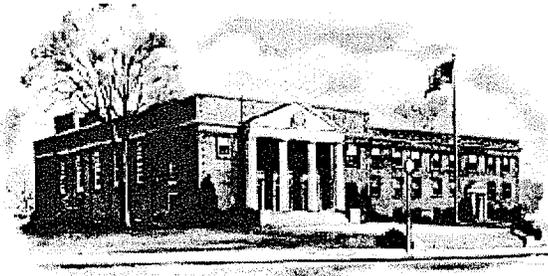


STONEHAM
MAIN ST (ROUTE 28) AND NORTH ST

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	22	22
PROJECT FILE NO.		602165	

CRITICAL CROSS SECTIONS
NORTH STREET WEST





TOWN OF
STONEHAM

BOARD OF RETIREMENT
CONTRIBUTORY RETIREMENT SYSTEM
TOWN HALL
35 CENTRAL STREET • STONEHAM, MA 02180-2087
TEL: 781-279-2635 FAX: 781-438-6906
Karen DeAngelis, Retirement Administrator

Janice T. Houghton
Chairman

Ronald J. Florino
Member

Cosmo M. Ciccarello
Member

James J. McDermott, Jr.
Member

Elsie M. Wallace
Member

July 1, 2014

Board of Selectmen
Town Hall
35 Central Street
Stoneham, MA 02180

To the Honorable Board of Selectmen;

Please be advised that at the meeting of the Stoneham Retirement Board on May 20, 2014, the Board voted to appoint Board Member Ronald Florino the "Election Officer" for the Stoneham Contributory Retirement System's election of the third & fourth members of the Stoneham Retirement Board, said election to take place on Tuesday, December 2, 2014.

If you have any questions or concerns regarding the above, please do not hesitate to call.

Sincerely,

Karen DeAngelis
Retirement Administrator

Sinclair, Erin

From: Cindy Hemenway <cindyhref@yahoo.com>
Sent: Wednesday, July 02, 2014 8:37 AM
To: Ragucci, David
Cc: Anthony Wilson; Dolly Wilson; Mark E. Warren; Cameron Bain; Dorothy Bergold; julie shulman; Mary Furrier; William Conary; Bill Murphy; Catherine Moore; AnnMarie O'Neill; Tom Boussy; Sinclair, Erin; jdp9633@aol.com; frank.vallarelli@comcast.net; sweeneybob54@gmail.com; emm4256@gmail.com; paul_armano@yahoo.com; jaeaton88@comcast.net; ggeorgou@aol.com; liz@jaxsongroup.com; devonmanchester@yahoo.com; taraanne04@comcast.net; patriciawalsh@verizon.net; patricia@electmikeday.com; pbs1061@hotmail.com; cec724@verizon.net; lauren.murphy3@comcast.net; Janet Rivers; Linda; Pam Macura; Wendy Warren; mpantherbuckley@comcast.net; jleosullivan@aol.com; nomeans@yahoo.com; mbracciotti@yahoo.com; wilsonbda@aol.com; witold@gmail.com; l_gyomory@yahoo.com; marie.meibaum@comcast.net; shelly macneill; mcdermottfam@comcast.net; jason.lewis@masenate.gov; mmpec@aol.com; joanmlemire@comcast.net; rachel.meredith@gmail.com; dianemcba@aol.com; themanginos@comcast.net
Subject: FY 2015 Walk on the RRROW...

Good morning, Dave:

As you know, yesterday was the first day of FY 2015 and the year the long awaited Greenway for Stoneham is earmarked to begin construction. To mark this milestone, last evening, 13 Stoneham residents (only a 24 hour notice and in 90 degree hot, hazy and humid weather, no less) met at Dale Court to walk the RRROW to see if we could walk the entire length of the RRROW without any obstructions. The following is a list of our observations and concerns:

- There is a large storage container on the paved area near the Y. This is on the RRROW.
- From Pleasant St. crossing to Cunningham's property, just beyond the large boulders, there is a section of the RRROW that is so overgrown with small trees, briars, vines, etc. that it is not walkable.
- Though the gate to the fence at Cunningham's property is unlocked and open, his property is still full of lots of equipment and debris. Certainly a hazard to anyone who would like to walk the RRROW.
- Cleveland Fence has cleared all their equipment and debris off the RRROW behind their business, but they have not moved the fence back to their lot line. Therefore, they are still on the RRROW.
- Clear Channel has a locked fence across part of the width of the RRROW. To our knowledge, they do not have a lease and are not and have not been paying to use that section of the RRROW. The other half of the width of the RRROW next to the fence at Clear Channel is so overgrown with briars, small trees, etc. that it is not walkable.

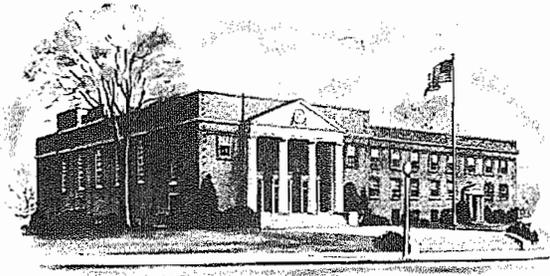
Many Stoneham residents are interested in walking the RRROW until such time as the Greenway/Bikeway is constructed. With some amount of adjustments, residents could begin to enjoy walking the entire Stoneham section of the RRROW. We believe after a 25+ year wait, Stoneham residents deserve to start enjoying their linear park. We respectfully request you take the following measures to correct the above stated concerns.

- Continued communication from you, as TA, and TC, Bill Solomon, to Cunningham, Cleveland Fence and Clear Channel to vacate the entire width of the RRROW to be in compliance with the July 1, 2014 deadline that they have already missed.

- A request from you to Bob Grover, Stoneham DPW, to send in large mowers to clear cut a path in the areas I noted above so that residents may walk the RRROW.

We wish to thank you for your due diligence and continued support on the issue of the RRROW.

Respectfully, Cindy Hemenway



TOWN OF
STONEHAM
MASSACHUSETTS

www.stoneham-ma.gov

OFFICE OF TOWN ADMINISTRATOR
35 CENTRAL STREET
STONEHAM, MA 02180-2087
TEL: 781-279-2600
FAX: 781-279-2602
dragucci@ci.stoneham.ma.us

DAVID RAGUCCI

TOWN ADMINISTRATOR

MEMO

DATE: June 26, 2014

TO: Tom Boussy, Chairman, Board of Selectmen

FROM: David Ragucci, Town Administrator

SUBJECT: Town Clerk's Office –Office Assistant

Please be advised that the Town advertised for a part-time Office Assistant in the Town Clerk's Office.

Town Clerk Maria Sagarino has chosen Barbara McLaughlin to be appointed to this position. Mrs. McLaughlin has been volunteering in the Town Clerk's office through the Senior Work off Program and has the experience of working in a Town Clerk office.

Mrs. McLaughlin will be working 15 hours per week at \$16.3818 per hour. Her employment with the Town of Stoneham will be contingent upon her passing a pre-employment physical.

Attached for your perusal is Mrs. McLaughlin's resume as well as the job posting.

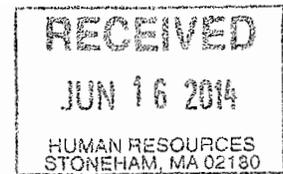
If the Board has any questions or concerns, please don't hesitate to contact me.

Thank you.
/dp
Attachment

Jun 26 1 09 PM '14

STONEHAM
TOWN

Barbara McLaughlin
11 Sherwood Road
Stoneham, Massachusetts 02180
Home Telephone Number: 781-438-3846



Profile

Organized, professional legal secretary with strong administrative and people skills. Able to work independently and prioritize tasks based on attorney and client needs.

Work History:

May, 2005 to
April, 2010 **LITCHFIELD CAVO**
 Lynnfield, MA

Legal Assistant

Provided secretarial support to managing partner and associate. Typed legal documents, including motions and pleadings. Maintained attorneys' calendar/diary through Time Matters and Outlook. Communicated with outside counsel, insurance companies, courts, clients with regard to various aspects of a litigation file (i.e., setting up IME's, preparing and processing stipulations). Prepared miscellaneous reports, handled projects/assignments. Assisted attorney for trial preparation which included organizing trial binder. All mail received scanned to individual file, diary in calendar and given to attorney for review.

Prepared time entries for managing partner which were submitted to corporate office. Maintained case files.

August, 1995 to
July, 2004 **LAW OFFICE OF PETER D. FEEHERRY**
 Boston, MA

Legal Secretary/Office Manager

Provided secretary support to Managing Attorney and Senior Trial Attorney. Typed legal documents, including pleadings and motions. Maintained attorney's calendar/diary. Communicated with outside counsel, courts, claims department and clients in regard to various aspect of a litigation file (i.e., setting up IME's, preparing and processing stipulations).

Prepared monthly reports which included case count, billing totals, expense report and attendance records which would be submitted to Managing Partner on a monthly basis.

Prepared time entries for Managing Attorney. Assisted with travel arrangements for business. Maintained case files, which would include opening and closing of all files, and documenting all files correctly.

References furnished upon request

**TOWN OF STONEHAM
JOB OPPORTUNITY
PART – TIME OFFICE ASSISTANT
TOWN CLERK’S OFFICE**

Responsible for the maintenance and recording of all vital statistics including impounded records, adoptions, paternity petitions which includes records of other towns; issues various permits and licenses; types various certificates for marriages, deaths, births, etc.; collects fees and balances money received on a daily basis; prepares various reports regarding vital statistics; posts meetings, types letters and forms, files, answers the telephone. Assists in the preparation for Town Elections and Town Meetings.

Part-Time: 15 hours a week

Hourly Rate: \$16.3818

Requirements: High School graduate or equivalent including or supplemented by a business course or any equivalent combination of education, training and experience. Prior experience in a municipal Town Clerk’s Office helpful.

Resume to: Ginny Ray, HR Director
Town of Stoneham
35 Central Street
Stoneham, MA 02180

Deadline to apply: June 23, 2014 at 4:00 p.m.

ADA/EQUAL EMPLOYMENT OPPORTUNITY/AFFIRMATIVE ACTION EMPLOYER

FY13

Grade 32A

\$16.3818