

TO: STONEHAM INDEPENDENT

Please publish the following legal notice of a SITE PLAN HEARING
on the following dates:

Wednesday, May 20, 2015

and

Wednesday, May 27, 2015

Bill should be sent to:

Charles F. Houghton Attorney At Law
271 Main Street, Suite 202
Stoneham, MA 02180

NOTICE OF HEARING

The Stoneham Board of Selectmen will hold a public hearing in accordance with provisions of the Zoning By-Laws on Tuesday, June 9, 2015 at 7:00 PM in the Hearing Room of the Town Hall on the petition of **Buckingham Realty Trust, Michael J. O'Sullivan, Trustee**, to change use from five (5) residential units to six residential units in the building on the property located at **489 Main Street, Stoneham, MA** on land owned by Buckingham Realty Trust, Michael J. O'Sullivan, Trustee, 7 West Street, Wakefield, MA 01880.

Plan may be seen in the office of the Building Inspector.

BOARD OF SELECTMEN

Dates to be published: 5/20/15 & 5/27/15

TOWN OF STONEHAM

Project Review

Review Report

Project: 489 Main Street

Representative(s):

Date: 5/28/15

Status: Project Review

Project Review Team: John Fralick, Robert Grover, Joe Rolli, Joe Ponzio, Cheryl Noble

The information contained herein is subject to review and a final determination by the Board of Selectmen. The purpose of the Project Review is to provide the applicant with an opportunity to understand the regulatory mandates, and to further receive input from Town departments relative to the proposed project. At no time are non-regulatory conditions to be considered final and binding until such time that the Board of Selectmen has agreed to same and/or others when applicable.

Department	Issue(s) Raised	Applicant's Response
DPW Engineering	<p>Please be advised that the Public Works Department has reviewed the site plan dated July 28, and revised to December 8, 2014, and herein offer the following:</p> <ol style="list-style-type: none">1. Provide a check for \$500.00 to the Public Works Department to purchase replacement trees for the six (6) inch tree to be removed.2. Remove and replace bituminous concrete sidewalk on Benton Street from Main Street to the westerly property line with cement concrete and granite curbing. The cement concrete sidewalk is to be four (4) inches thick, six (6) inches at the driveways.3. Install four (4) granite curb corners to define the two (2) new driveways.4. The existing ¾ inch copper water service must be replaced with a larger service to provide for six (6) units. This service can run to the new Benton Street water main. The old service to Main Street must be killed at the main. Check to determine if a sprinkler service is required.5. The five (5) inch sewer service to Benton Street was installed in 1900. Remove and replace this service with six (6) inch PVC.6. All utility work is to be accomplished by a licensed drain layer with appropriate insurance and a street opening permit.7. This property is currently listed as commercial and will be subject to trash fee for six (6) units.	<p>Agreed</p> <p>Agreed</p> <p>Agreed</p> <p>Agreed</p> <p>Agreed</p> <p>Agreed</p> <p>Agreed</p>

Police Department	The Stoneham Police department approves the modified site plan for 489 Main St as is with no suggested changes.	
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Board of Health	make sure they have means for dust mitigation throughout the construction process and make sure that they get a dumpster if needed	
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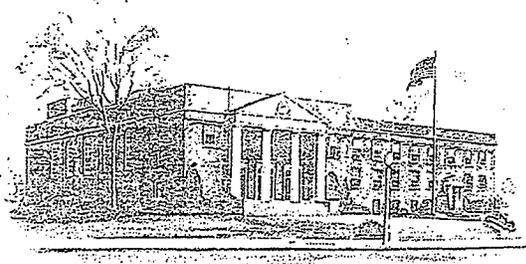
Fire Department	Building must be brought up to code. (Fire alarm and Sprinkler system)	Agreed
	Lock Box will be required. Lock Box to be ordered through Fire Department and Location to be determined by Fire Department.	Agreed

Inspectional Services	Required landscaping must be maintained.	Agreed
	Parking will be for this property only.	Agreed

Please note this document has been provided to the each of the department heads and a copy has been transmitted to the applicant.

Respectfully submitted,

Cheryl Noble



TOWN OF
S T O N E H A M
MASSACHUSETTS 02180

Public Works Department
16 Pine Street

781-438-0760

Fax 781-438-8183

TO: August Niewenhous, Chairman
Planning Board

FROM: Robert E. Grover, Director
Public Works Department

DATE: January 2, 2015

SUBJECT: 489 Main Street, Stoneham, MA – Site Plan

Please be advised that the Public Works Department has reviewed the site plan dated July 28, and revised to December 8, 2014, and herein offer the following:

1. Provide a check for \$500.00 to the Public Works Department to purchase replacement trees for the six (6) inch tree to be removed.
2. Remove and replace bituminous concrete sidewalk on Benton Street from Main Street to the westerly property line with cement concrete and granite curbing. The cement concrete sidewalk is to be four (4) inches thick, six (6) inches at the driveways.
3. Install four (4) granite curb corners to define the two (2) new driveways.
4. The existing ¾ inch copper water service must be replaced with a larger service to provide for six (6) units. This service can run to the new Benton Street water main. The old service to Main Street must be killed at the main. Check to determine if a sprinkler service is required.
5. The five (5) inch sewer service to Benton Street was installed in 1900. Remove and replace this service with six (6) inch PVC.
6. All utility work is to be accomplished by a licensed drain layer with appropriate insurance and a street opening permit.
7. This property is currently listed as commercial and will be subject to trash fee for six (6) units.



Sinclair, Erin

From: Ponzo, Joseph
Sent: Thursday, May 21, 2015 4:31 PM
To: Noble, Cheryl
Subject: Re: 489 Main Street

Dear Cheryl,

The Stoneham Police department approves the modified site plan for 489 Main st as is with no suggested changes.

Respectfully Submitted,

Officer Joseph Ponzo
Safety Officer
Stoneham Police Department

On May 21, 2015, at 3:15 PM, Noble, Cheryl <cnoble@stoneham-ma.gov> wrote:

It would help if you knew what project was for. Sorry

Sinclair, Erin

From: Fralick, John
Sent: Thursday, May 28, 2015 3:44 PM
To: Noble, Cheryl; Rolli, Joe; Grover, Robert
Subject: RE: 489 main street stoneham

Just make sure they have means for dust mitigation throughout the construction process and make sure that they get a dumpster if needed.

-J

Sent from my Sprint Samsung Galaxy S® 6 edge.

----- Original message -----

From: "Noble, Cheryl"
Date: 05/28/2015 3:42 PM (GMT-05:00)
To: "Rolli, Joe" , "Grover, Robert" , "Fralick, John"
Subject: RE: 489 main street stoneham

Do you guys have comments on this?

From: Noble, Cheryl
Sent: Thursday, May 21, 2015 3:10 PM
To: Rolli, Joe; Ponzo, Joseph; Grover, Robert; Fralick, John
Subject: FW: 489 main street stoneham

Attached is the plan for 489 Main street. I will also put a hard copy in your mailbox. Please send me your comments/concerns.

Thanks
Cheryl

Sinclair, Erin

From: Rolli, Joe
Sent: Friday, May 29, 2015 7:16 AM
To: Noble, Cheryl; Wortman, Erin
Subject: FW: site plan hearing-489 Main Street12-23
Attachments: site plan hearing-489 Main Street12-23.doc

From: Burnham, Ann
Sent: Friday, May 29, 2015 7:14 AM
To: Rolli, Joe
Subject: site plan hearing-489 Main Street12-23

MEMORANDUM

TO: August S Niewenhous
Planning Board Chairman

FROM: Chief Joseph W. Rolli
Fire Department

DATE: January 5, 2015

RE: 489 Main Street

- Building must be brought up to code. (Fire alarm and Sprinkler system)
- Lock Box will be required. Lock Box to be ordered through Fire Department and
- Location to be determined by Fire Department.
- No other comments at this time.



TOWN OF
STONEHAM
MASSACHUSETTS

TOWN HALL
35 CENTRAL STREET
STONEHAM, MA 02180

HISTORICAL COMMISSION

June 2, 2015

Dear Chairman Boussy and Board Members,

The Historical Commission has been collaborating with the Zoning and Planning Boards on Mr. O'Sullivan's proposed project to rehabilitate the circa 1880 property at 489 Main Street. In preparation for your public hearing on June 9, the Commission notes the following reasons why this property should be a "preferably-preserved significant building".

Its importance derives from its original owner and his place in Stoneham's history, its architectural style/location and its contribution to Stoneham today.

Original Owner – a self-made man

489 Main Street was built 135 years ago for Leonard P. Benton, a Civil War veteran who came to Stoneham at the age of 32 as a trained shoemaker to work in local factories. Within 7 years he went into business for himself specializing in children's shoes. By the time he was 48, he moved into his own shop located where Andrea's Pizza is today and employed 55-60 workers who were producing 40 cases of fine quality specialty shoes a week. Mr. Benton was an entrepreneur who contributed to Stoneham's reputation as a shoe manufacturing town. He was also active in various fraternal organizations and served on the Board of Selectmen.

His house is mentioned in Stevens' 1891 History of Stoneham as follows: "As one of the fruits of his business enterprise Mr. Benton has built and lives in a substantial residence on the corner of Main and Benton Streets, nearly opposite his factory." (p. 227).

Style and Location

Some 36 years ago, 489 Main Street was deemed worthy of being listed in the Massachusetts Cultural Resources Information System. MACRIS is an electronic database of historically significant properties maintained by the Massachusetts Historical Commission. 489 Main completes the streetscape between Benton and Linden Streets as one of four highly visible properties built in the early Victorian style known as Italianate.

Of the other three that are listed in MACRIS, the "twins" 477 Main (Pharmaceutical Strategies) and 481 (Charles Burke) have the special designation of being on the National Register of Historic Places. While the Commission is not entirely sure why 489 Main is absent from the National Register, there were property owners who opted out of this designation in 1984, fearing that their personal property rights would be compromised.

477 Main c.1875 Onslow Gilmore, a builder and mason
481 Main c.1875 Edward & Clara Buswell, shoe manufacturer
485 Main c.1875 Lyman Gerry, possible descendant of original settler Thomas Gerry
489 Main c.1880 Leonard P. Benton, shoe manufacturer

489 Main and the other three period houses are just south of the Central Square National Historic District which, in retrospect, may be why they are still standing. Some homes within that District were easy marks for demolition; Arad Gerry's property became home to the Post Office, Deacon Bryant's house, rumored to be a stop on the Underground Railway, was razed for the Cleveland Building and four Italianate homes (circa 1865-85) on Church and Winter were demolished for the Town Common..

The Commission believes that preserving 489 Main Street maintains the contiguous streetscape between Linden and Benton Streets that reminds us of Stoneham's shoe manufacturing heritage and makes the town a more attractive and desirable place to live.

Relevance Today

489 Main Street is located within the secondary study area of the recently released Stoneham Square Strategic Action Plan. On page 6 the Plan notes, "Residential density is essential to a successful town center. Local residents form a crucial consumer base for local retail areas as they support establishments beyond the 9 to 5 workday, particularly on weekends".

This property could house 6-18 residents who would be within walking distance of the Theatre, the Post Office, five churches, two banks, two hardware stores, various medical facilities on Montvale Ave, the Library and any number of restaurants.

Comments on the proposed plan

It is the Commission's opinion that Mr. O'Sullivan's plans to rehabilitate 489 Main provide an architecturally sympathetic addition which meets changing uses while retaining some of the property's historic character. The addition mimics the window proportions and brackets at the roof line of the original ca. 1880 building. The 'new' stacked bay window is reminiscent of the south facing window that will disappear during construction. The third story dormer is not original to the building. The Planning Board requested it be modified and we think the change is a definite improvement.

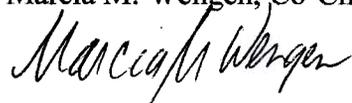
The Commission has no objection to the two parking spaces in front of the building. The precedent was set at both 485 Main (residential) and 481 Main (Charles Burke) when the then owners gave up lawn for asphalt years ago.

Conclusion

Due to the historical significance of 489 Main Street, the Commission respectfully asks the Selectmen for a decision in favor of this conversion to six apartments. The owner is willing to commit a significant amount of money to rehabilitate this building when it would be much less expensive to demolish it.

Without your support, the property will eventually fall to the wrecking ball, thus destroying forever a portion of an important streetscape on the west side of Main Street that celebrates Stoneham's place in Massachusetts' shoe manufacturing history.

Thank you for your time. Marcia M. Wengen, Co-Chair



STREETSCAPE between LINDEN and BENTON STREETS

B
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489 Main Street
Leonard P. Benton
Now mixed use
MACRIS # STN.22



485 Main Street
Lyman Gerry
Now residential
MACRIS # STN.23

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481 Main Street
Edward & Clara Buswell
Now Charles Burke
MACRIS # STN.24
National Register of
Historic Places



477 Main Street
Onslow Gilmore
Now Pharmaceutical
Strategies
MACRIS # STN.25
National Register of
Historic Places

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489 MAIN STREET, STONEHAM - PROPOSED ADDITION



489 MAIN STREET, STONEHAM - BEFORE

Charles F. Houghton

Attorney - At - Law

271 Main Street - Suite 202, Stoneham, Massachusetts 02180

Telephone: (781) 438-7444 Fax: (781) 438-2078

2015 MAY 18 A 9:51

Christopher J. Gordon
Attorney

Mark E. Mulligan
Attorney

Janet E. Elwell
Attorney

Maria D'Alenio
Paralegal

May 14, 2015

Ms. Cheryl Noble, Building Inspector
Stoneham Town Hall
35 Central Street
Stoneham, MA 02180

RE: Site Plan, 489 Main Street, Stoneham, MA 02180

Dear Ms. Noble:

Please be advised that I represent Michael J. O'Sullivan, Trustee, Buckingham Realty Trust, regarding the proposed site plan for the property at 489 Main Street, Stoneham, MA 02180.

My client is proposing to amend his site plan approval to change the five residential units previously approved to six residential units in total. I have scheduled this matter with the Board of Selectmen for a hearing on June 9, 2015 at 7:00 p.m.

On April 9, 2015, the Planning Board voted to grant a Special Permit for six units subject to approval of the building design. At the Planning Board meeting of April 27, 2015, the Planning Board approved the building design.

Enclosed please find my check in the amount of One Hundred Dollars (\$100.00) and eighteen copies of my client's site plan are filed herewith.

If you need any additional information, please contact me at the above number.

Sincerely,



Charles F. Houghton, Esquire

CFH:meh
Enclosures
cc: Erin Sinclair, Selectmen's Office





TOWN OF
STONEHAM
 MASSACHUSETTS
 BUILDING AND WIRE DEPARTMENT

SITE PLAN HEARING APPLICATION

Date: 5--14--2015

The undersigned, owner of the property, hereby applies for a Site Plan Hearing according to the Provisions of Chapter 16 of the Town Ordinance.

- I. A. The applicant shall complete two copies of this form and submit 18 copies of the "Site Plan" by a Registered Engineer.
- B. Submit a letter from the owner describing the type of building being constructed, renovated, altered and the proposed use of said building.
- C. Attach a copy of the Special Permit and Board of Appeals Decision (if applicable).

II. Fill in the following data as required for this hearing.

A. Location of Property 489 Main Street, Stoneham, MA 02180

B. Name of Owner Buckingham Realty Trust, Michael J. O'Sullivan, Trustee

C. Address of Owner 7 West Street, Wakefield, MA 01880

D. Business Name (If Different from Owner) N/A

E. Telephone Number of Owner 617-828-0777

F. Present Use of Building or Property office/residential

G. Height of existing and/or proposed structure two and on-half story

H. Has there been a previous Site Plan on this property? Yes No

If "YES" give the dates
various

I. Zoning District Residential/Business Overlay District

III. PREPARE AND FILE WITH THIS FORM A "SITE PLAN". STATE THE ZONING DISTRICT IT LIES WITHIN. SHOW THE LOT, ITS AREA, DIMENSIONS, AN ACCURATE COMPLETE OUTLINE OF THE PROPOSED AND ANY EXISTING STRUCTURES THEREON, DISTANCES FROM ALL BOUNDARY LINES, PARKING, COMPUTATIONS FOR ALL REQUIRED PARKING. SITE PLAN SHALL BE PREPARED AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER/SURVEYOR.

A. NAME & ADDRESS OF THE ENGINEER P.J.F. and Associates
11 Gleason Street
Medford, MA 02155

IV. PROVIDE SUPPLEMENTARY DRAWING TO SHOW THE NATURE AND CHARACTER OF THE PROPOSED STRUCTURE.

V. PROVIDE A DESCRIPTION OF YOUR PROPOSAL INCLUDING THE INTENDED USE OF THE PROPERTY. NOTE: THIS DESCRIPTION WILL APPEAR IN THE LEGAL NOTICE OF THE NEWSPAPER, AND IS SUBJECT TO REVIEW BY THE OFFICE OF THE BOARD OF SELECTMEN.

Change use from five (5) residential units to six residential units in the building

VI. I, THE UNDERSIGNED - OWNER OF PROPERTY, AFFIRM THAT THE FOREGOING STATEMENTS ARE TRUE STATEMENTS OF FACT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SIGNED  STREET # 271 Main Street, Suite 202
Charles F. Houghton, Esq., Attorney for the Applicant

TOWN Stoneham, STATE MA 02180 PHONE NO. 781-438-7444

VII. FILE ONE COPY OF THIS APPLICATION WITH A CHECK IN THE AMOUNT OF \$300.00, PAYABLE TO THE TOWN OF STONEHAM.

- VIII. A. A NEW SITE PLAN IS REQUIRED FOR ANY CHANGES AFTER THE WORK ON AN EXISTING SITE PLAN HAS BEEN COMPLETED AND FINAL APPROVAL RECEIVED.
- B. A NEW SITE PLAN IS ALSO REQUIRED IF THE DATE HAS EXPIRED ON AN EXISTING SITE PLAN.

IX. FILE ONE COPY OF THIS APPLICATION WITH THE TOWN CLERK FOR RECORD.

- X. SITE PLAN AMENDMENT:
- A. AMENDED SITE PLANS ARE SUBJECT TO A NEW HEARING BEFORE THE BOARD OF SELECTMEN.
- B. NEW APPLICATION SHALL BE SUBMITTED.
- C. FEE: THREE HUNDRED (\$300.00) DOLLARS.
- D. CHANGES DURING WORK TO AN EXISTING SITE PLAN IS CONSIDERED AN AMENDED SITE PLAN.
- E. FEE OF \$ 100.00, PAYABLE TO THE TOWN OF STONEHAM.

Paid _____

Stoneham Certified Abutters List Request:

Subject Property Location 489 Main

Parcel ID of the Subject Property _____

Applicant's Name CHARLIE HOUGHTON

Applicant's Telephone Number _____

Purpose of Abutters List

_____ **Zoning Board of Appeals (Variance or Special Permit)**
includes all abutters of the subject property within a 300 Foot Radius

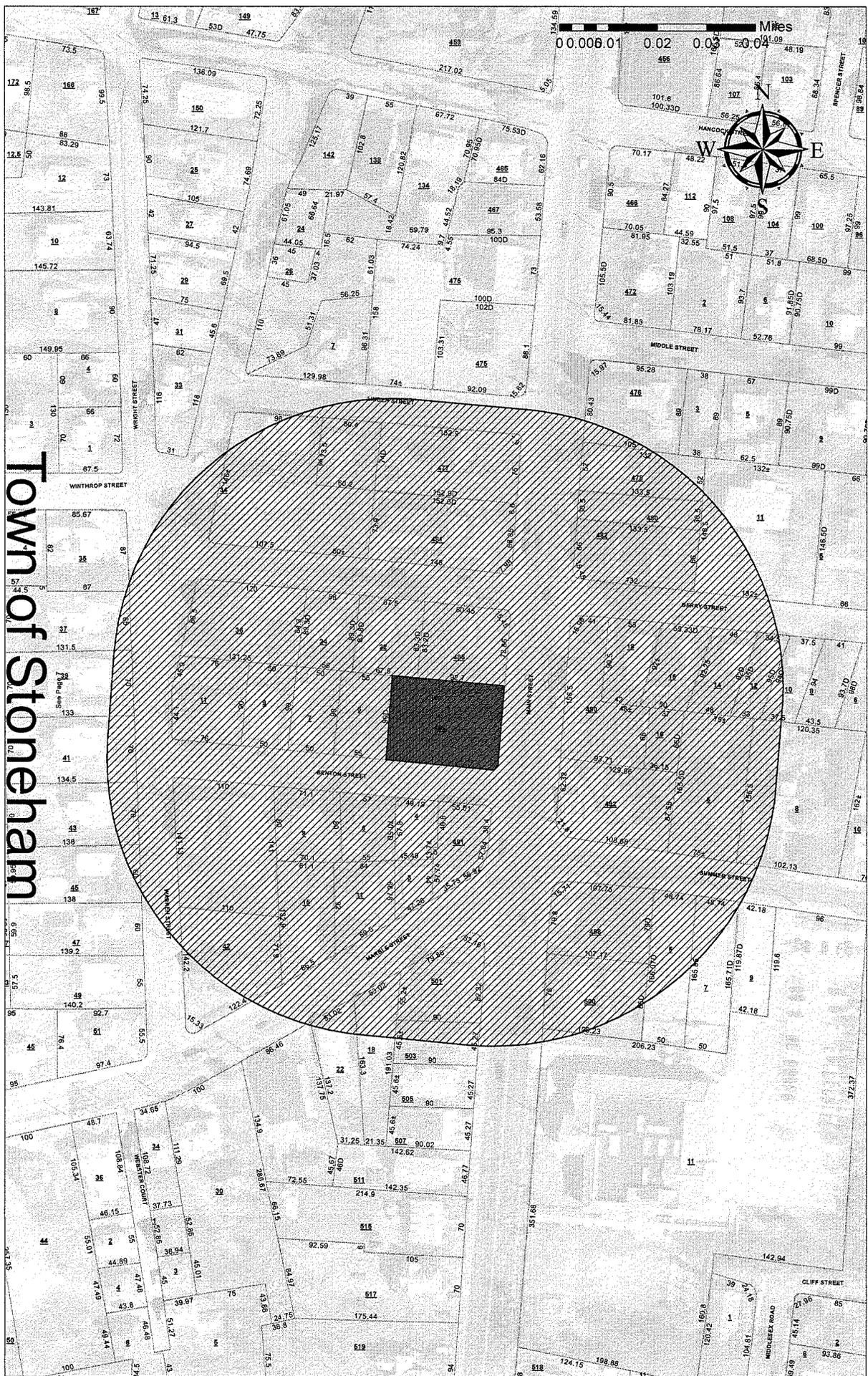
- _____ **Planning Board**
- _____ Accessory Dwelling or In-Law Apartment - 300 Foot Radius
- _____ Special Permit - 300 Foot Radius
- _____ Sub-Division - Direct Abutters Only
- _____ Warrant Articles - No Abutters

Site Plan
includes all abutters of the subject property within a 300 Foot Radius

_____ **Liquor License**
includes direct abutters and all churches, school and hospitals within 500 Feet

_____ **Utility (Fee will be billed at a later date)**
A review of the proposed utility work must be presented to the Director of Department of Public Works. The scope of the proposed work will be analyzed and a map will be created indicating the abutters in need of notification. This map must then be provided to the Assessors Office for a Certified Abutters List to be generated.

* The cost of any abutters list is \$25.00



Town of Stoneham

ABUTTERS LIST - 18 - 288 - 300 FT



Patriot Properties

05/15/2015

8:26:33AM

Town of Stoneham

GIS - Abutters by Location

Filter Used:

DataProperty.AccountNumber in

(3469,3542,3541,3523,3470,3473,3471,3522,3629,3472,3545,3627,3544,3543,3520,3481,3480,3479,3476,3474,3626,3547,3548,3549,3550,3519,3484,1578,3625,3483,7554,7555..

GIS - Abutters by Location

Parcel ID - Map/Block/Lot	Location	Owner/Mailing Address
18-0-327	BENTON ST	WARREN PARK CONDO ASSOCIATION MA 02180
18-0-320	11 BENTON ST	LaGRECA STEVEN J. / LaGRECA CHERYL M. 11 BENTON ST / STONEHAM MA 02180
18-0-327A	12 BENTON ST 1	PRICE MARTHA J. / 12 BENTON ST U# 1 / STONEHAM MA 02180
18-0-327B	12 BENTON ST 2	GALLO GAIL M. / 12 BENTON ST U# 2 / STONEHAM MA 02180
18-0-327C	12 BENTON ST 3	LAWRENCE HARRIET G. / 7329 E. THORNWOOD DR. / SCOTTSDALE AZ 85251
18-0-327D	12 BENTON ST 4	KRAUT SUSAN M. TR / S. KRAUT REALTY TRUST 12 BENTON ST U# 4 / STONEHAM MA 02180
18-0-327E	12 BENTON ST 5	DINEEN CHRISTOPHER J. / 12 BENTON ST U# 5 / STONEHAM MA 02180
18-0-327F	12 BENTON ST 6	MARINO AMY 12 BENTON ST U# 6 / STONEHAM MA 02180
18-0-327G	12 BENTON ST 7	CUNIBERTI RACHEL C / 12 BENTON ST U# 7 / STONEHAM MA 02180
18-0-327H	12 BENTON ST 8	MARCHANT JASON / MARCHANT ZEINA 12 BENTON ST UNIT 8 / STONEHAM MA 02180
18-0-324	4 BENTON ST	BELESIS PETER / BELESIS VALERIE 4 BENTON ST / STONEHAM MA 02180
18-0-323	5 BENTON ST	O'SULLIVAN MICHAEL J. / C/O TRACY CARREIRO 7 WEST STREET WAKEFIELD MA 01880
18-0-325	6 BENTON ST	PAOLUCCI MICHAEL / PAOLUCCI JILL 6 BENTON ST / STONEHAM MA 02180
18-0-322	7 BENTON ST	PALMER JEFFREY L. / PALMER NANCY E. 7 BENTON ST STONEHAM MA 02180
18-0-326	8 BENTON ST	GETCHELL CHRISTOPHER S. 8 BENTON ST STONEHAM MA 02180
18-0-321	9 BENTON ST	FERRARI LOUIS / CAROLYN JASIUL FERRARI TRS. 18 BROADWAY STONEHAM MA 02180

Parcel ID - Map/Block/Lot	Location	Owner/Mailing Address
18-0-247	10 GERRY ST	BERNSTEIN DAVID C. / CARRI DIANA L. 17 FIELDSTONE DRIVE WESTFORD MA 01886
18-0-246	11 GERRY ST	SO.N.E.CONF.ASSOC.7TH ADV P.O. BOX 1169 SO. LANCASTER MA 01561
18-0-248	12 GERRY ST	CRAMER GERI / CRAMER NATHANIEL S 7 GERRY STREET STONEHAM MA 02180
18-0-249	14 GERRY ST	MCKENZIE DANA T. / MCKENZIE STEPHEN P. 14 GERRY ST STONEHAM MA 02180
18-0-250	16 GERRY ST	BRETON RENAUD J. / BRETON MARY E. 16 GERRY STREET STONEHAM MA 02180
18-0-251	18 GERRY ST	JOYCE MARK S. / JOYCE JESSICA L. 149 OLD BARN PATH / MARSHFIELD MA 02050
18-0-317	22 GERRY ST	DANGO JAMES / DANGO, DENISE 22 GERRY STREET STONEHAM MA 02180
18-0-318	24 GERRY ST	KRAUTHAMER BRYAN D 24 GERRY ST STONEHAM MA 02180
18-0-314	6 LINDEN ST	TRIVEDI VIVEK A / TRIVEDI PARUL V 48 ASHWOOD AVENUE WILMINGTON MA 01887
18-0-242	476 MAIN ST	MAINSTONE PROPERTIES LLC 9 CARRIAGE LANE READING MA 01867
18-0-291	477 MAIN ST	477 MAIN ST LLC 22 WHITMAN AVE MELROSE MA 02176
18-0-243	478 MAIN ST	MAINSTONE PROPERTIES LLC 9 CARRIAGE LANE READING MA 01867
18-0-244	480 MAIN ST	MAINSTONE PROPERTIES LLC 9 CARRIAGE LANE READING MA 01867
18-0-290	481 MAIN ST	BURKE CHARLES L / ANNETTE I BURKE 72 GLEASON RD READING MA 01867
18-0-245	482 MAIN ST	BARILE RALPH A ETUX / THE BARILE REALTY TRUS 482 MAIN ST STONEHAM MA 02180
18-0-289	485 MAIN ST	O'SULLIVAN MICHAEL J. 7 WEST STREET WAKEFIELD MA 01880

Parcel ID - Map/Block/Lot	Location	Owner/Mailing Address
18-0-288	489 MAIN ST	O'SULLIVAN MICHAEL / 7 WEST STREET / WAKEFIELD MA 01880
18-0-254	490 MAIN ST	YOUSSEF MICHAEL / YOUSSEF SUSAN MARIE 490 MAIN ST STONEHAM MA 02180
18-0-287	491 499 MAIN ST	P&V BELESIS REALTY TRUST 12 LUCIA ROAD / MARBLEHEAD MA 01947
18-0-256	492 MAIN ST	SFW LLC / MASS. LIM.LIABILITY COMPANY 492 MAIN STREET STONEHAM MA 02180
18-0-261	498 MAIN ST	KOMBOURAS ANGELO TR 498 MAIN ST STONEHAM MA 02180
18-0-262	500 502 MAIN ST	THOMAS THEODORE E. JR. ETAL / VALENTYN JOHN P.O. BOX 402 / MEDFORD MA 02155
18-0-286	501 MAIN ST	DIPINTO SALVATORE J. JR. / P.O.BOX 80350 / STONEHAM MA 02180
18-0-285	503 MAIN ST	EICHER WILLIAM A / EICHER, BONNIE JEAN 503 MAIN ST STONEHAM MA 02180
18-0-331	11 MARBLE ST	MANZO NOREEN M. 11 MARBLE STREET STONEHAM MA 02180
18-0-330	15 MARBLE ST	WENTZELL MICHAEL / WENTZELL DAPHNE 15 MARBLE ST / STONEHAM MA 02180
18-0-333	18 20 MARBLE ST	ARGIRO JOSEPH / DELUCA VINCENZA L.,ETAL 18 20 MARBLE ST STONEHAM MA 02180
18-0-334	22 24 MARBLE ST	BURDICK STEPHEN L. / BURDICK VERA M. 22-24 MARBLE ST / STONEHAM MA 02180
18-0-335	26 MARBLE ST 26 - 1	PACE ANTHONY / UNIT 26 - 1 26 MARBLE ST U# 26 - 1 STONEHAM MA 02180
18-0-335C	26 MARBLE ST 26 - 2	GEORGE BRYAN / GEORGE EMILY 26 MARBLE ST U# 26 - 2 STONEHAM MA 02180
18-0-335M	26-28 MARBLE ST	26-28 MARBLE STREET CONDO ASSOCIATION STONEHAM MA 02180
18-0-335B	28 MARBLE ST 28 - 1	FOLEY ELAINE 28 MARBLE ST U# 28 - 1 STONEHAM MA 02180

GIS - Abutters by Location

Parcel ID - Map/Block/Lot	Location	Owner/Mailing Address
18-0-335D	28 MARBLE ST 28 - 2	OGDEN PENNY 28 MARBLE ST U# 28 - 2 STONEHAM MA 02180
18-0-332	3 MARBLE ST	COTTON DUDLEY N. 597 WASHINGTON STREET / WINCHESTER MA 01890
18-0-263	11 SUMMER ST	STONEHAM TOWN OF / SOUTH SCHOOL 149 FRANKLIN ST / STONEHAM MA 02180
18-0-260	5 SUMMER ST	TOWN OF STONHAM / SO. SCHOOL PROPERTY 35 CENTRAL STREET / STONEHAM MA 02180
18-0-257	6 SUMMER ST	CANN ROBERT A / RUTH A CANN 6 SUMMER ST STONEHAM MA 02180
18-0-259	7 SUMMER ST	TOWN OF STONHAM / SO.SCHOOL PROPERTY 35 CENTRAL STREET STONEHAM MA 02180
13-0-316	8 SUMMER ST	PONTONE JOSEPH / C/O NANCY PONTONE 49 OLD FARM RD READING MA 01867
18-0-258	9 SUMMER ST	TOWN OF STONHAM / SO. SCHOOL PROPERTY 35 CENTRAL ST / STONEHAM MA 02180
18-0-315	34 WARREN ST	NADWORNY JOHN W. / NADWORNY SUSAN K. 34 WARREN ST STONEHAM MA 02180
18-0-410	35 WARREN ST	MACMONAGLE DANIEL J. 35 WARREN STREET STONEHAM MA 02180
18-0-319	36 WARREN ST	ANDERSON JOHN L. / ANDERSON JOHN B. 25 WEST ST STONEHAM MA 02180
18-0-409	37 WARREN ST	EDWARDS THOMAS S. / EDWARDS ANNETTE M. 37 WARREN ST STONEHAM MA 02180
18-0-408	39 WARREN ST	TOCCI DONALD C / TOCCI BODIL 39 WARREN ST STONEHAM MA 02180
18-0-407	41 WARREN ST	VITA ROBERT A., TRSTEE / WARREN STREET REALT PO BOX 324 STONEHAM MA 02180
18-0-329	42 WARREN ST	MAHNKS DANIEL / MAHNKS MARGARET 42 WARREN ST STONEHAM MA 02180
18-0-406	43 WARREN ST	FRASER WILLIAM J / FRASER CHARLOTTE M 43 WARREN STREET STONEHAM MA 02180

5/15/2015

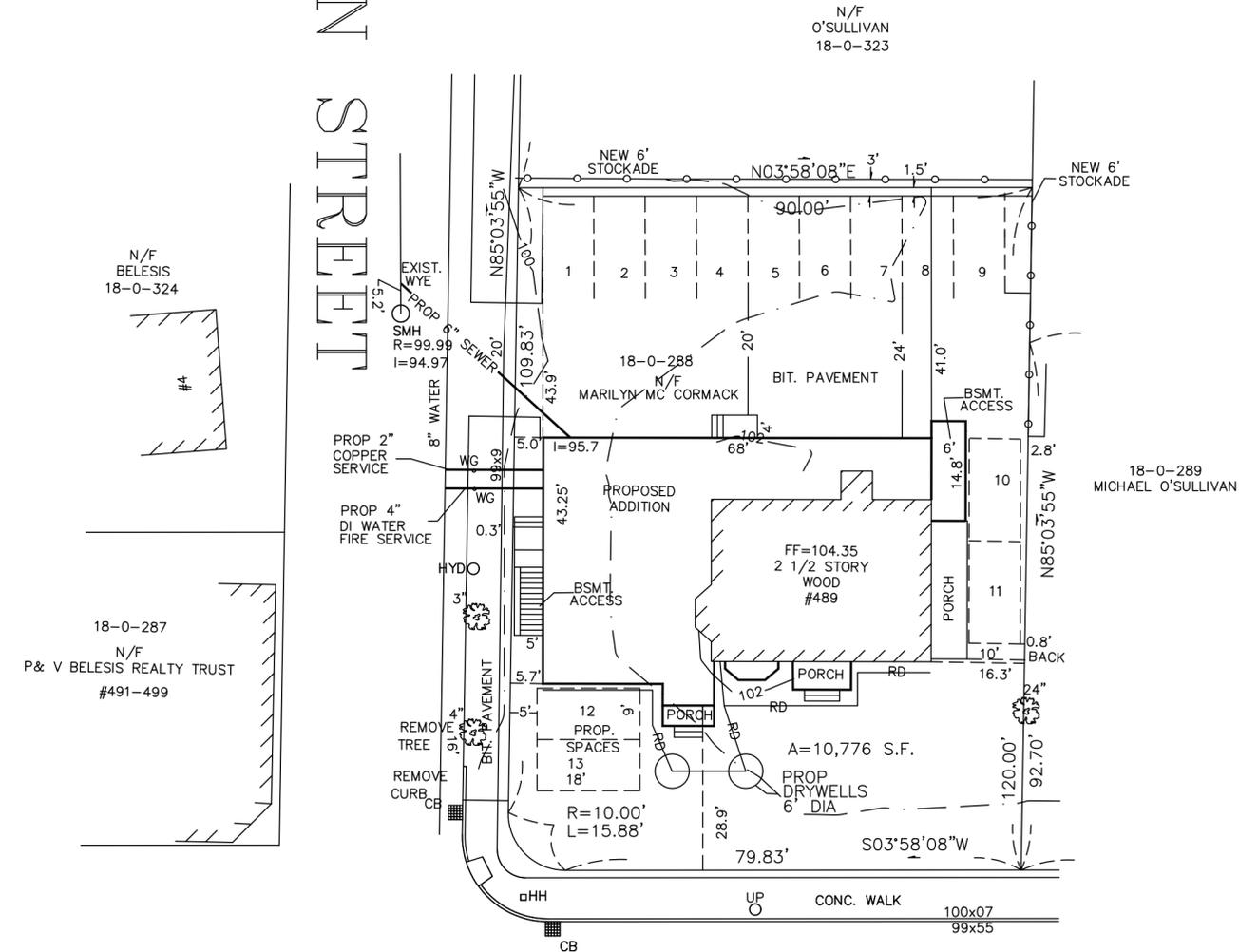
Town of Stoneham
GIS - Abutters by Location

Page 5 of 5

8:26:34AM

Parcel ID - Map/Block/Lot	Location	Owner/Mailing Address
18-0-405	45 WARREN ST	KAHN JAMES R / NANCY P KAHN 45 WARREN ST STONEHAM MA 02180

BENTON STREET

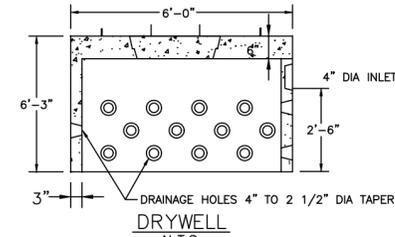


MAIN STREET

IMPERVIOUS AREA		
	EXISTING	PROPOSED
STRUCTURE	1461	3140
PAVEMENT	4145	4440
TOTAL	5616 S.F.	7580 S.F.

NET INCREASE 1964 S.F.

PROPOSE 2' 6" DIA BY 6' DEEP DRYWELLS TO BE CONNECTED TO ROOF DOWNSPOUTS BY 6" FLEXIBLE PIPE.



NOTE: 2' OF STONE TO BE PLACED AROUND DRYWELL WRAPPED IN FILTER FABRIC

NOTES:

- 1) THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATERGATES, ETC. AND ARE COMPILED FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING ALL UTILITY COMPANIES OR AGENCIES PRIOR TO ANY EXCAVATION WORK.
- 2) CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND INVERTS IN THE FIELD PRIOR TO CONSTRUCTION.
- 3) SEWER SERVICE TO BE 6" PVC MIN SLOPE 2.0%
- 4) WATER SERVICE TO BE 2" TYPE K COPPER.
- 5) FIRE SERVICE TO BE 4" DI
- 6) ALL WORK TO CONFORM TO TOWN OF STONEHAM STANDARDS.

LEGEND:

CATCH BASIN	CB
CONTOUR	102
FENCE	
HAND HOLE	HH
HYDRANT	HYD
RIM	R=
SEWER MANHOLE	SMH
SPOT GRADE	102x1
TREE	
UTILITY POLE	UP

ZONING DISTRICT - BUSINESS

PARKING REQUIREMENTS

RESIDENTIAL PARKING 2.1 SPACES PER UNIT
6 UNITS X 2.1 = 12.6

TOTAL SPACES REQUIRED 13
TOTAL SPACES PROVIDED 13

PROPOSED SITE PLAN OF LAND
OF
489 MAIN STREET
IN
STONEHAM, MA.

PREPARED BY: P.J.F. AND ASSOCIATES
4 HIGHLAND AVENUE
WAKEFIELD, MA 01880
(781) 246-5426



SCALE: 1" = 20'

DATE: APRIL 29, 2015

FILE No. 5832-23B

FIELD	PLOT	DESIGN	DRAFT	CALC.	CHECK



JOHN D SULLIVAN III P.E. CIVIL NO. 41586

PAUL J. FINOCCHIO P.L.S. No.36115

DATE

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED FROM AN ACTUAL ON THE GROUND INSTRUMENT SURVEY.



PHOENIX
ARCHITECTS

PHOENIX ARCHITECTS
REGISTERED MASSACHUSETTS
(781) 248-0988

PETER L. SANDORSE, A.I.A. - PRINCIPAL

NOTE:
ALL DIMENSION TO BE FIELD
VERIFIED & CHECKED
CONTRACTOR TO REPORT
CHANGES AND OMISSIONS TO
ARCHITECT.



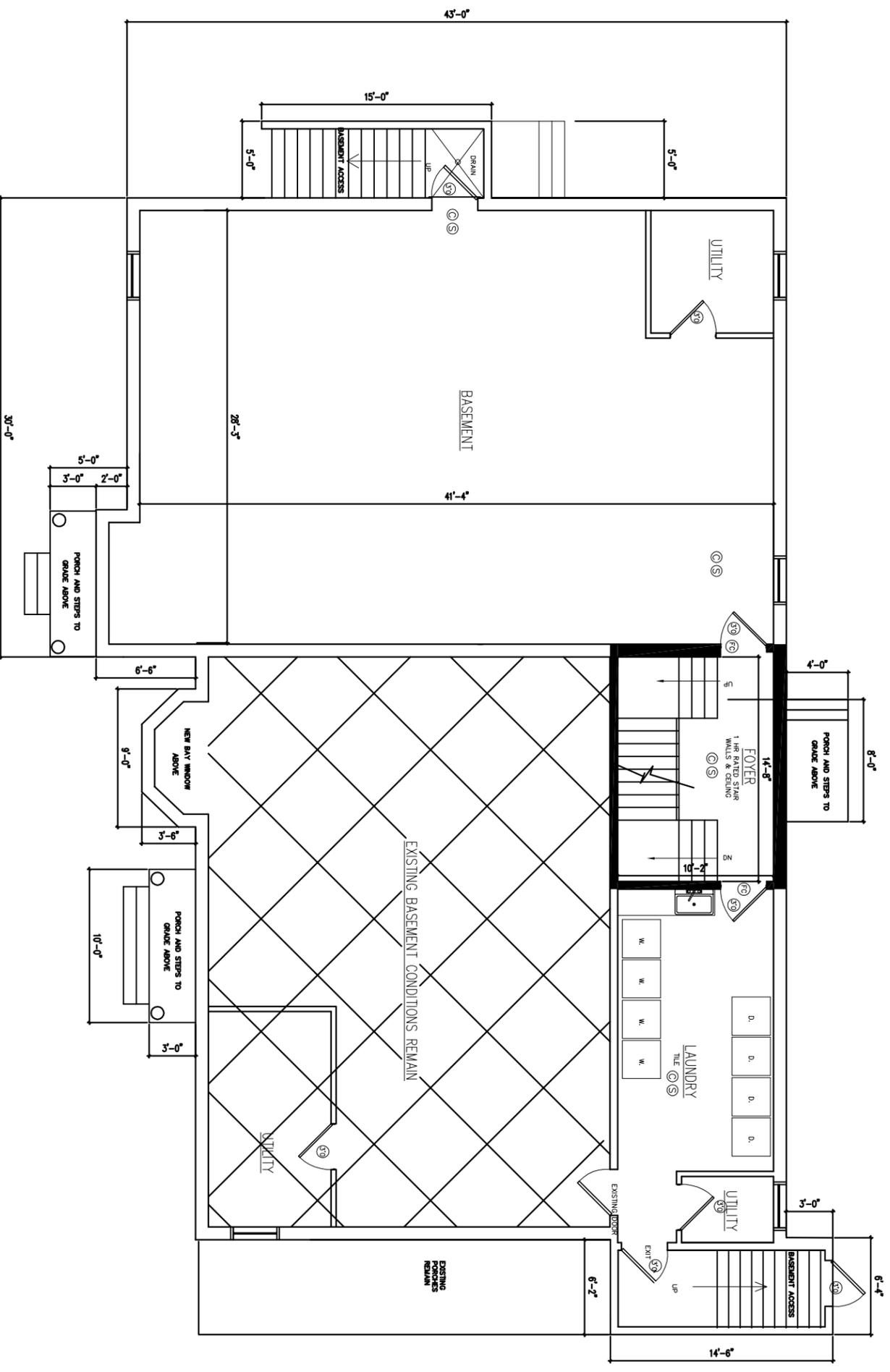
No.	Revision/Issue	Date
1		
2		
3		
4		

PROPOSED
FLOOR PLANS

Project Name and Address
O'Sullivan Apartments

489 MAIN STREET
STONEHAM, MA, 02180

Dwg. Number	Sheet
1	1
Date 4.23.15	
Scale 1/4"=1'-0"	



PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE: EGRESS DOOR LOCATIONS BASED ON THE 2012 IBC CHAPTER 10.106.1 NATURAL PATH OF TRAVEL TO EGRESS TABLE 1016.2 TRAVEL DISTANCE. WE EXCEED ALL OF THESE REQUIREMENTS.



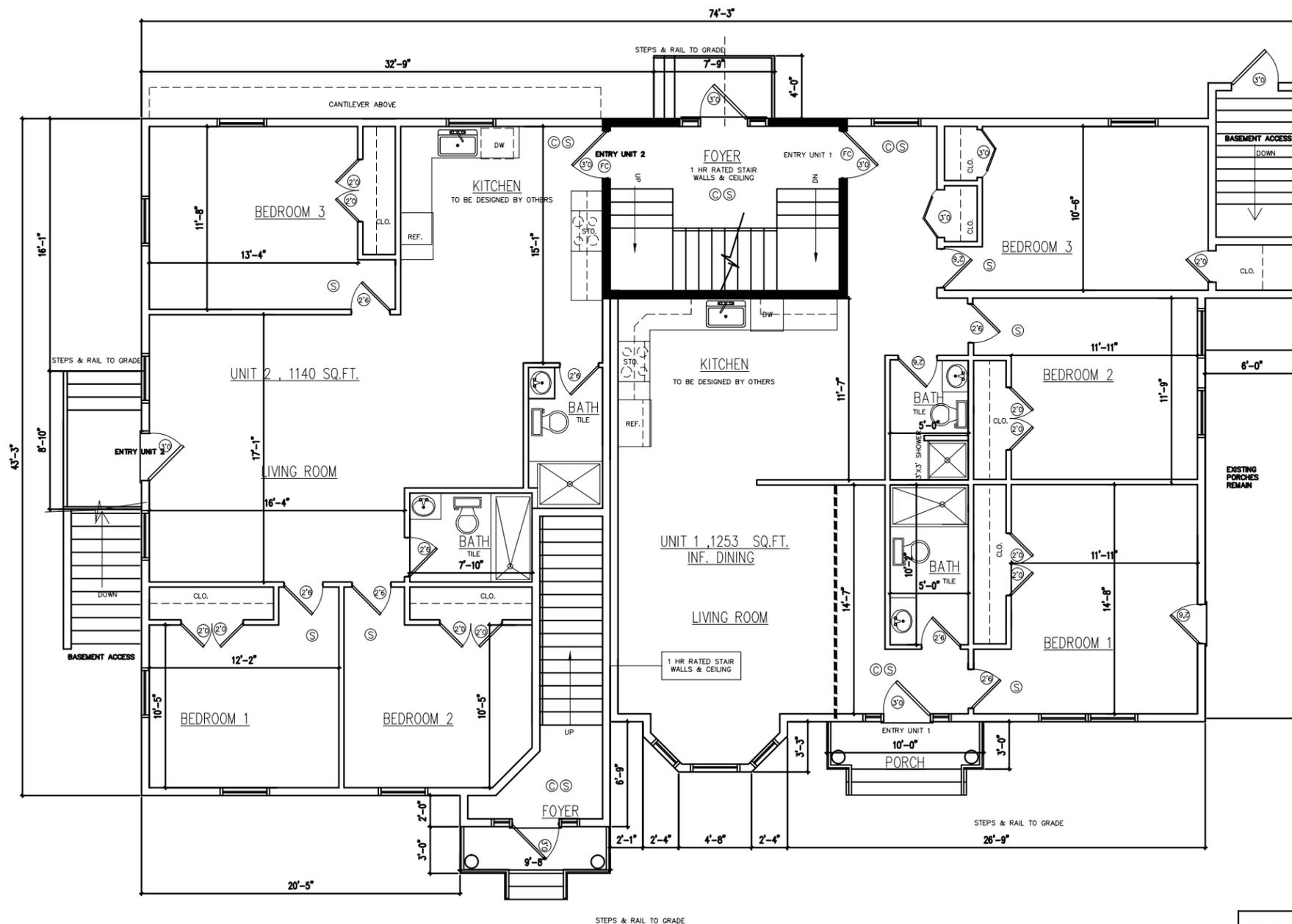
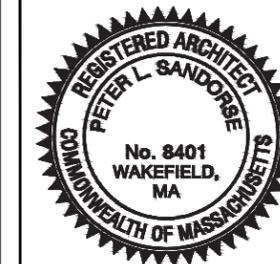
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WAKEFIELD MASSACHUSETTS
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NOTE:

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PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE: EGRESS DOOR LOCATIONS BASED ON THE 2012 IBC CHAPTER 10 1016.1 NATURAL PATH OF TRAVEL TO EGRESS. TABLE 1016.2 TRAVEL DISTANCE, WE EXCEED ALL OF THESE REQUIREMENTS.

No.	Revision/Issue	Date
4		
3		
2		
1		

PROPOSED FLOOR PLANS

Project Name and Address
O'Sullivan Apartments

489 MAIN STREET
STONEHAM, MA, 02180

Draw Number	Sheet
1	2
Date 4.23.15	
Scale 1/4"=1'-0"	

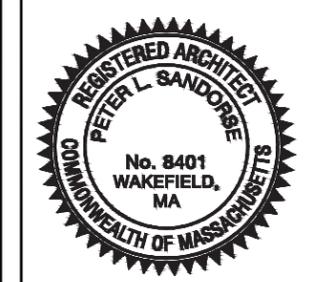


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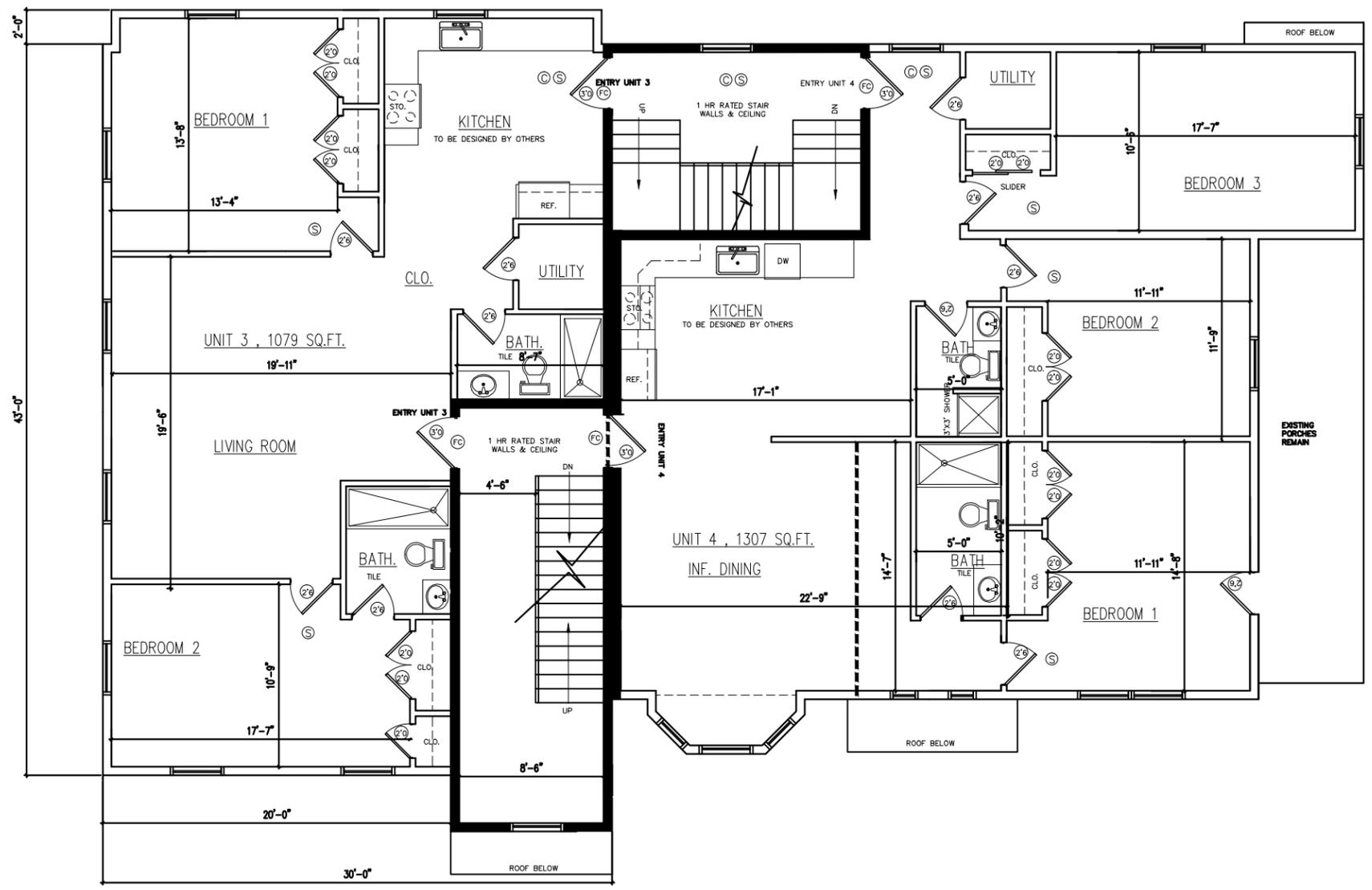


No.	Revision/Issue	Date
4		
3		
2		
1		

PROPOSED FLOOR PLANS

Project Name and Address
O'Sullivan Apartments
489 MAIN STREET
STONEHAM, MA, 02180

Dwg. Number	Sheet
1	3
Date 4.23.15	
Scale 1/4"=1'-0"	



NOTE: EGRESS DOOR LOCATIONS BASED ON THE 2012 IBC
CHAPTER 10 1016.1 NATURAL PATH OF TRAVEL TO EGRESS.
TABLE 1016.2 TRAVEL DISTANCE, WE EXCEED ALL OF THESE REQUIREMENTS.

PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



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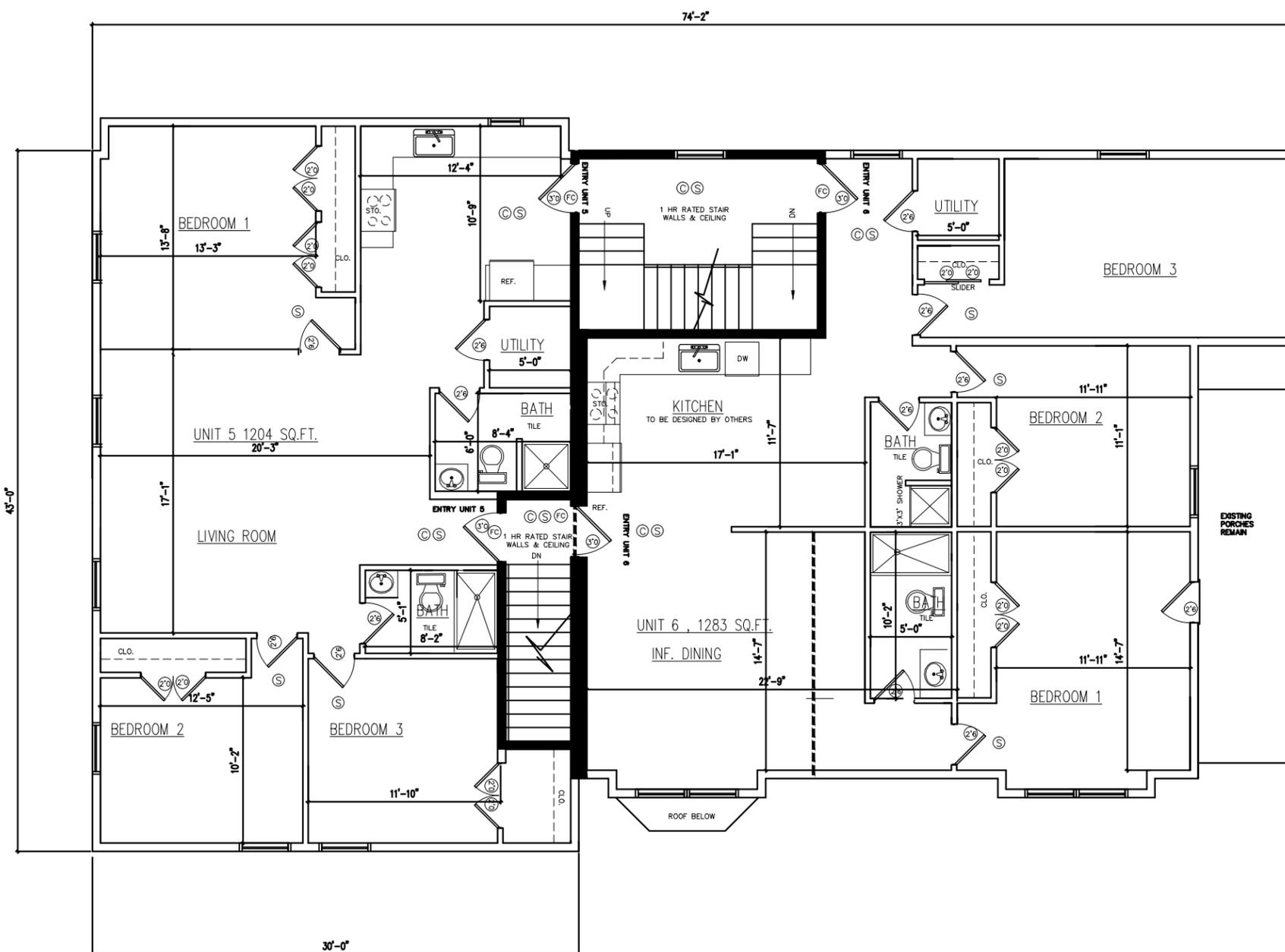
4		
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No.	Revision/Issue	Date

PROPOSED
FLOOR PLANS

Project Name and Address
O'Sullivan Apartments

489 MAIN STREET
STONEHAM, MA, 02180

Dep. Number	Sheet
1	4
Date	
4.23.15	
Scale	
1/4"=1'-0"	



PROPOSED THIRD FLOOR PLAN

1/4" = 1'-0"

NOTE: EGRESS DOOR LOCATIONS BASED ON THE 2012 IBC
CHAPTER 10 1016.1 NATURAL PATH OF TRAVEL TO EGRESS.
TABLE 1016.2 TRAVEL DISTANCE, WE EXCEED ALL OF THESE REQUIREMENTS.



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PROPOSED FRONT ELEVATION
1/4" = 1'-0"

4		
3		
2		
1		
No.	Revision/Issue	Date

PROPOSED ELEVATIONS

Project Name and Address
O'Sullivan Apartments

489 MAIN STREET
STONEHAM, MA, 02180

Dep. Number	Sheet
1	5
Date	
4.23.15	
Scale	1/4"=1'-0"



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PROPOSED RIGHT ELEVATION
1/4" = 1'-0"

4		
3		
2		
1		
No.	Revision/Issue	Date

PROPOSED
ELEVATIONS

Project Name and Address
O'Sullivan Apartments

489 MAIN STREET
STONEHAM, MA, 02180

Dep. Number 1	Sheet 6
Date 4.23.15	
Scale 1/4"=1'-0"	



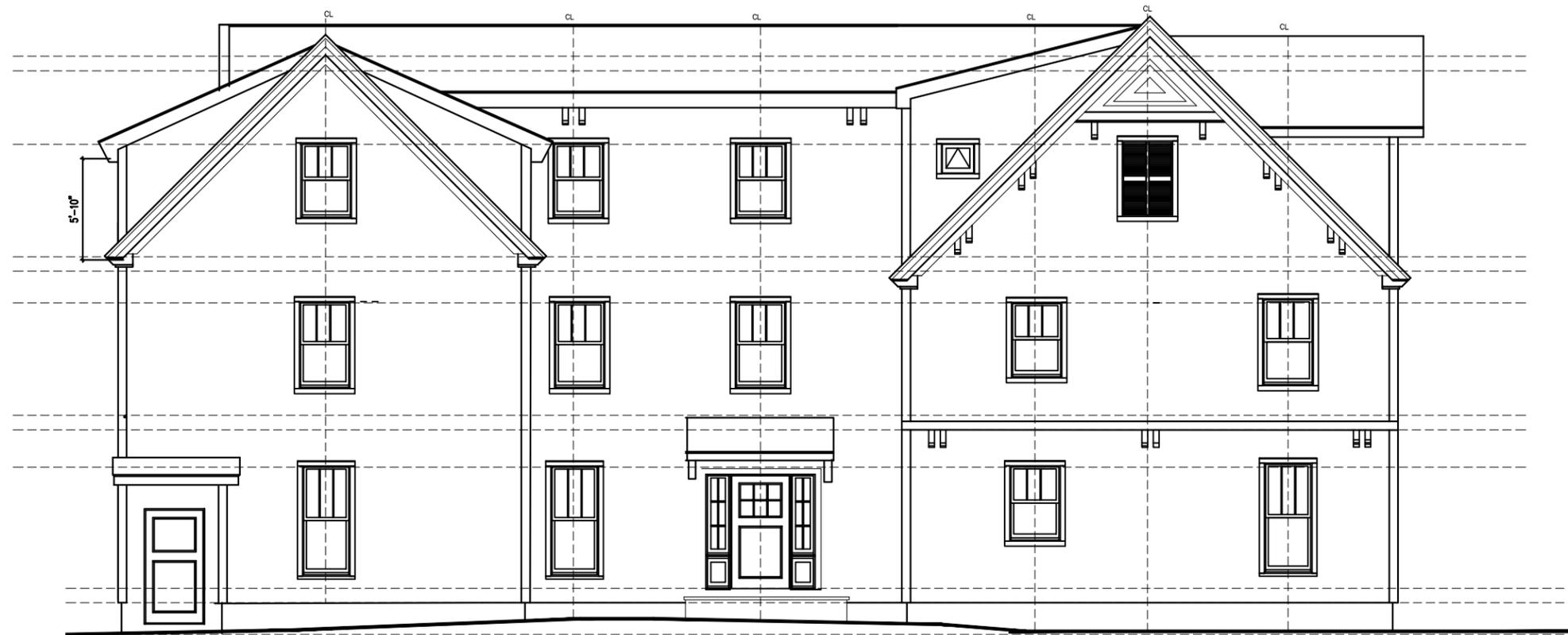
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PROPOSED REAR ELEVATION
1/4" = 1'-0"

4		
3		
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1		
No.	Revision/Issue	Date

PROPOSED
ELEVATIONS

Project Name and Address
O'Sullivan Apartments

489 MAIN STREET
STONEHAM, MA, 02180

Dep. Number	Sheet
1	7
Date	
Scale	
4.23.15	1/4"=1'-0"



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PROPOSED LEFT SIDE ELEVATION
1/4" = 1'-0"

4		
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No.	Revision/Issue	Date

PROPOSED
ELEVATIONS

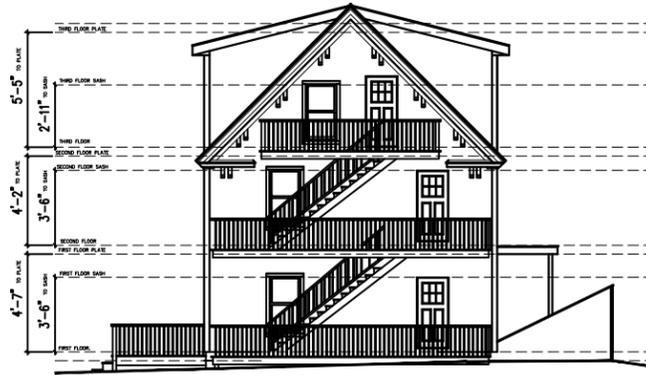
Project Name and Address
O'Sullivan Apartments

489 MAIN STREET
STONEHAM, MA, 02180

1	8
Date 4.23.15	
Scale 1/4"=1'-0"	



EXISTING REAR ELEVATION
1/4" = 1'-0"



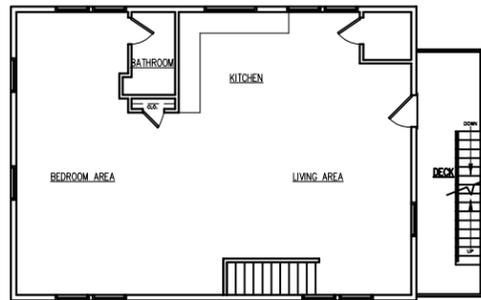
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1/4" = 1'-0"



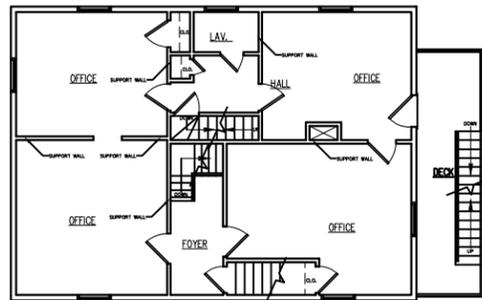
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1/4" = 1'-0"



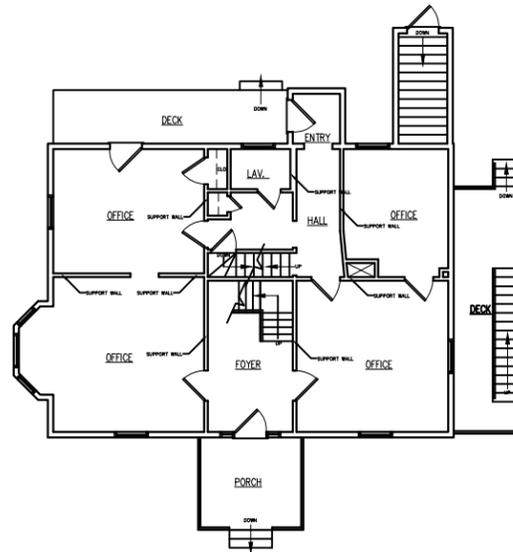
EXISTING FRONT ELEVATION
1/4" = 1'-0"



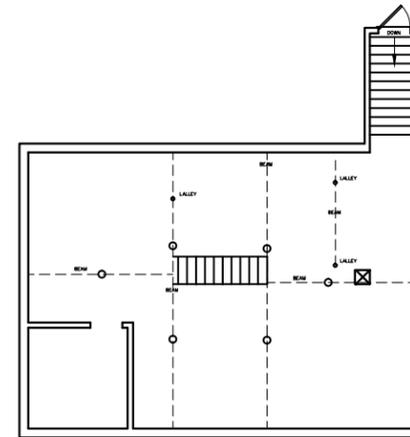
EXISTING THIRD FLOOR PLAN
1/4" = 1'-0"



EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"



EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



EXISTING BASEMENT FLOOR PLAN
1/4" = 1'-0"



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4		
3		
2		
1		
No.	Revision/Issue	Date

EXISTING PLANS

Project Name and Address
O'Sullivan Apartments
489 MAIN STREET
STONEHAM, MA, 02180

Dep. Number 1	Sheet 9
Date 4.23.15	
Scale 1/4" = 1'-0"	

GENERAL

ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE COMMONWEALTH OF MASSACHUSETTS BUILDING CODE (780CMR) AND THE CONTRACT DOCUMENTS. IN CASE OF A CONFLICT, THE MOST STRINGENT REQUIREMENT SHALL GOVERN.

THE CONTRACTOR MUST HAVE THE EXPERTISE TO EXECUTE ALL WORK INDICATED ON THE DRAWINGS OR SHALL HIRE QUALIFIED HELP.

THE CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS RELATED TO THIS PROJECT.

THE CONTRACTOR SHALL EXAMINE THE ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR VERIFICATION OF LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, WASHES, DRIPS, REVEALS, DEPRESSIONS, AND OTHER PROJECT REQUIREMENTS.

ALL REQUESTS FOR CHANGES FROM THE CLIENT, THE CONTRACTORS, ETC., OR ANY OTHER PARTY MUST BE MADE IN WRITING TO THE STRUCTURAL ENGINEER OR ANY OTHER CHANGES TO DRAWINGS MADE ON THE SITE MUST BE FOLLOWED UP IN WRITING TO THE STRUCTURAL ENGINEER.

THE USE OF EXPLOSIVES IS NOT PERMITTED WITHOUT THE WRITTEN PERMISSION OF THE STRUCTURAL ENGINEER.

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT WHEN, IN THE COURSE OF CONSTRUCTION OR DEMOLITION, CONDITIONS ARE UNCOVERED WHICH ARE UNANTICIPATED OR OTHERWISE APPEAR TO PRESENT A DANGEROUS CONDITION.

WHERE NEW WORK WILL BE ADJACENT TO OR FRAMING EXISTING CONSTRUCTION, VERIFY DIMENSIONS OF EXISTING CONSTRUCTION, PRIOR TO FABRICATION OF NEW MEMBERS.

PROVIDE ALL LABOR AND MATERIAL FOR ANY FRAMING REQUIRED TO CONNECT NEW FRAMING TO EXISTING CONSTRUCTION. WHEREVER IT IS NECESSARY TO REMOVE EXISTING CONSTRUCTION IN ORDER TO CONSTRUCT NEW WORK, THE AFFECTED AREA SHALL BE PATCHED AND REBUILT TO MATCH EXISTING ADJACENT WORK TO SATISFACTION OF THE ARCHITECT.

STRUCTURAL ALTERATION SHALL BE PRECEDED BY ADEQUATE SHORING AND BRACING.

SCREW-TYPE SHORING POSTS SHALL BE PROVIDED FOR EXISTING WORK DURING THE REMOVAL OF EXISTING BEARING WALLS AND STRUCTURAL MEMBERS AND THE INSTALLATION OF NEW STRUCTURAL WORK.

TEMPORARY SHORES SHALL BE PLACED AS CLOSE AS PRACTICABLE TO THE EXISTING STRUCTURAL WORK BEING REMOVED.

HEADERS SHALL BE PLACED ACROSS TOP OF SHORING POSTS AND SHALL BE SNUG TIGHT AGAINST UNDERSIDE OF STRUCTURE ABOVE.

SHORING SHALL BEAR ON SLEEPERS TO PREVENT DAMAGE TO THE STRUCTURE BELOW.

TEMPORARY SHORES SHALL BE INDIVIDUALLY DESIGNED, ERECTED, SUPPORTED, BRACED AND MAINTAINED BY THE CONTRACTOR TO SAFELY SUPPORT ALL DEAD LOADS PRESENTLY CARRIED BY THE EXISTING STRUCTURAL WORK BEING REMOVED AND ANY CONSTRUCTION LIVE LOADS.

NEW STRUCTURAL FRAMING SHALL BE COMPLETELY INSTALLED BEFORE REMOVING ANY SHORES.

SHORES SHALL BE RELEASED GRADUALLY AND LEFT LOOSELY IN PLACE FOR AT LEAST 2 DAYS TO ALLOW FOR STRUCTURAL SHAKE OUT.

FOUNDATIONS

FOOTINGS SHALL BE FOUNDED ON UNDISTURBED MATERIAL HAVING A MINIMUM BEARING CAPACITY OF 2 TONS PER SQUARE FOOT OR ON GRAVEL FILL, SELECTED AND COMPACTED TO 95% OF ITS MAXIMUM PROCTOR DRY DENSITY IN 6" LIFTS.

EXTERIOR CONSTRUCTION SHALL BE CARRIED DOWN BELOW FINISHED EXTERIOR GRADE TO A MINIMUM DEPTH OF 4 FEET UNLESS OTHERWISE NOTED.

FOOTING EXCAVATIONS ARE TO BE FINISHED WITH A SMOOTH BUCKET OR BY HAND.

NO EXCAVATION ADJACENT TO EXISTING FOUNDATION WILL ENCR OACH A PYRAMID STARTING AT THE PERIMETER OF THE EXISTING FOOTING WITH SLOPES OF ONE VERTICAL TO TWO HORIZONTAL UNLESS OTHERWISE NOTED.

NO FOUNDATION CONCRETE SHALL BE PLACED IN WATER OR ON FROZEN GROUND.

MAKE NO EXCAVATIONS TO THE FULL DEPTH INDICATED WHEN FREEZING TEMPERATURE MAY BE EXPECTED, UNLESS THE FOUNDATIONS OR SLABS CAN BE PLACED IMMEDIATELY AFTER THE EXCAVATION HAS BEEN COMPLETED. PROTECT THE BOTTOM SO EXCAVATED FROM FROST IF PLACING OF CONCRETE IS DELAYED. SHOULD PROTECTION FAIL, REMOVE FROZEN MATERIALS AND REPLACE WITH CONCRETE OR GRAVEL FILL, AS DIRECTED, AT NO COST TO THE OWNER.

FOOTINGS SHALL BE PROTECTED AGAINST FROST UNTIL PROJECT IS COMPLETED.

FOUNDATIONS (cont.)

BACKFILL UNDER ANY PORTION OF THE BUILDING SHALL BE COMPACTED IN 6" LIFTS.

UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED UNDER SUPPORTED MEMBERS.

BACKFILL NO EXTERIOR WALLS UNTIL PERMANENT LATERAL STRUCTURAL SUPPORT SYSTEM IS IN PLACE AND OF FULL STRENGTH.

BACKFILLING SHALL BE DONE SIMULTANEOUSLY ON BOTH SIDES OF THE BUILDING IN ORDER TO MINIMIZE UNBALANCED EARTH PRESSURES.

CONCRETE

CONCRETE WORK SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318) AND SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301).

CONCRETE SHALL HAVE A 3000 PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.

CONCRETE TO BE EXPOSED TO THE WEATHER IN THE FINISHED PROJECT SHALL HAVE 6% ENTRAINED AIR.

EXERCISE CARE WHEN FIELD APPLYING FORM RELEASE AGENTS TO PREVENT COATING ADJACENT CONSTRUCTION JOINT SURFACES OR REINFORCING STEEL.

ALL KEYS SHALL BE 2"x 4" (NOMINAL) UNLESS OTHERWISE NOTED.

ALUMINUM CONDUIT SHALL NOT BE EMBEDDED IN OR PASS THROUGH CONCRETE.

REINFORCEMENT

DETAILING, FABRICATION, AND ERECTION OF REINFORCEMENT, UNLESS OTHERWISE NOTED, SHALL CONFORM TO ACI "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)" AND ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315)".

STEEL REINFORCEMENT UNLESS OTHERWISE SHOWN SHALL CONFORM TO ASTM 615 GRADE 60.

THE CONCRETE PROTECTIVE COVERING FOR REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE LATEST ACI BUILDING CODE BUT SHALL NOT BE LESS THAN ONE INCH.

WHERE CONTINUOUS BARS ARE CALLED FOR, THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS AND LAPPED AT NECESSARY SPLICES OR HOOKED AT DISCONTINUOUS ENDS. LAPS SHALL BE NOT LESS THAN 36 BAR DIAMETERS UNLESS NOTED. GENERALLY, LAP TOP BARS AT MID-SPAN AND BOTTOM BARS AT SUPPORTS.

WHERE REINFORCEMENT IS CALLED FOR IN SECTION, REINFORCEMENT IS CONSIDERED TYPICAL WHEREVER THE SECTION APPLIES.

REINFORCEMENT COUPLER SPLICES SHALL BE MECHANICAL DEVICES CAPABLE OF TRANSMITTING THE ULTIMATE TENSILE AND COMPRESSIVE STRENGTH OF THE BAR.

INSTALLATION OF REINFORCEMENT SHALL BE COMPLETED AT LEAST 24 HOURS PRIOR TO SCHEDULED CONCRETE PLACEMENT. NOTIFY THE ARCHITECT OR HIS DESIGNATE OF COMPLETION AT LEAST 24 HOURS PRIOR TO SCHEDULED COMPLETION OF PLACEMENT OF CONCRETE.

STRUCTURAL TIMBER CONSTRUCTION

TIMBER CONSTRUCTION SHALL CONFORM TO PART II "DESIGN SPECIFICATIONS" AS PUBLISHED IN THE "TIMBER CONSTRUCTION MANUAL" (AITC) AND TO "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS), AMENDED TO DATE.

TIMBER CONSTRUCTION SHALL CONFORM TO ARTICLE 21, "BUILDING CODE PROVISIONS FOR ONE AND TWO FAMILY DWELLINGS" OF THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE.

NEW TIMBER SHALL HAVE A 1100 PSI ALLOWABLE BENDING STRESS. THE MODULUS OF ELASTICITY SHALL BE A MINIMUM OF 1,400,000 PSI.

LAMINATED VENEER LUMBER BEAMS SHALL HAVE A MINIMUM ALLOWABLE BENDING STRESS OF 2800 PSI AND A MINIMUM MODULUS OF ELASTICITY OF 2,000,000 PSI.

NEW TIMBER FOR STRUCTURAL USE SHALL HAVE A MOISTURE CONTENT OF 15%.

TIMBER SHALL BE SO HANDLED AND COVERED AS TO PREVENT MARRING, AND MOISTURE ABSORPTION FROM SNOW OR RAIN.

JOIST CONSTRUCTION SPANNING OVER 8' MUST HAVE CROSS BRIDGING AT NO MORE THAN 8' O.C.

NO JOIST SHALL BE NOTCHED OR DRILLED WITH HOLES WITHOUT THE SPECIFIC APPROVAL OF THE ENGINEER.

NO JOIST SHALL BE REPAIRED OR REINFORCED IN ANY WAY WITHOUT THE SPECIFIC APPROVAL OF THE ENGINEER.

STRUCTURAL TIMBER CONSTRUCTION (cont.)

RAFTERS AND JOISTS OVER 8'-0" SHALL BE SUPPORTED ON METAL HANGERS.

SILLS SHALL BE 2x4 OR 2x6. THEY SHALL BE ANCHORED WITH 1/2" DIAMETER BY 12" LONG ANCHOR BOLTS SPACED NOT MORE THAN 4'-0" O.C. AND AT EACH CORNER. PROVIDE 2" DIA. WASHERS UNDER EACH NUT.

USE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.

BEARING WALLS WILL BE 2x4 AT 16" O.C., UNLESS OTHERWISE NOTED.

BEARING PARTITIONS AND OUTSIDE STUD WALLS SHALL BE BRIDGED ONCE IN THEIR STORY HEIGHT OR AT LEAST EVERY 6'-0".

PLYWOOD SHALL BE NAILED WITH 8d COMMON OR 6d THREADED NAILS. NAILS SHALL BE 6" O.C. AT ALL BEARING.

STUDS SHALL BE NAILED TO THE SOLE PLATE WITH (3)10d OR (4) 8d TOE NAILS.

WHERE STRUCTURAL SHEATHING OVERLAPS SOLE PLATE NAIL SHEATHING TO SOLE PLATE AT 8" MAX. O.C.

DOUBLE JOIST AT EACH SIDE OF FLOOR OPENINGS UP TO 2'-0"

LARGER OPENINGS SHALL BE CALLED TO THE ATTENTION OF THE STRUCTURAL ENGINEER.

DOUBLE STUDS SHALL BE USED AT ALL WALL OPENING.

HEADER SHALL BE SUPPORTED ON JAMB STUD AND BE SIZED TO SUPPORT LOAD IMPOSED.

JAMB STUD SHALL EXTEND IN ONE PIECE FROM HEADER TO SOLE PLATE.

ALL STUDS TO BE CONTINUOUS FROM FLOOR TO FLOOR OR FLOOR TO ROOF.

SOLE PLATES SHALL BE NAILED TO SUB-FLOOR AND JOISTS WITH 16d NAILS AT EACH JOIST.

TOP PLATES FOR BEARING PARTITIONS SHALL BE TWO 2x4'S OR A CONTINUOUS HEADER. PLATE MEMBERS OF PRINCIPAL PARTITIONS SHALL BE LAPPED OR ANCHORED TO EXTERIOR WALL FRAMING. SPLICES IN LOWER MEMBER OF TOP PLATE SHALL OCCUR OVER STUDS. NAIL PLATES TO STUDS WITH TWO 16d NAILS 24" O.C.

TOP PLATES FOR NON-BEARING PARTITIONS MAY BE SINGLE AND WILL SPLICE AT STUD CENTERLINES ONLY. NAIL PLATE TO STUD WITH 16d NAILS. WHEN TOP PLATE IS PARALLEL TO CEILING OR FLOOR FRAMING, INSTALL 2x4 ACROSS BLOCKING NOT MORE THAT 4" O.C.

WHEN TOP PLATES ARE CUT FOR PIPING OR DUCTWORK, REINFORCE WITH STEEL STRAPS.

WHERE BEAMS AND GIRDERS OF NOMINAL 2" MEMBERS ARE SHOWN NAIL WITH TWO ROWS OF 16D NAILS SPACED NOT MORE THAT 24" O.C.

ALL BEAMS MUST SPLICE ONLY OVER SUPPORTS UNLESS SPECIFICALLY INSTRUCTED OTHERWISE BY STRUCTURAL ENGINEER.

FLOOR AND ROOF PLYWOOD WILL BE 5/8" THICK INSTALLED WITH GRAIN OF OUTER PLYS AT RIGHT ANGLES TO JOISTS AND BE STAGGERED SO THAT END JOINTS IN ADJACENT PANELS OCCUR OVER DIFFERENT JOISTS OR RAFTERS.

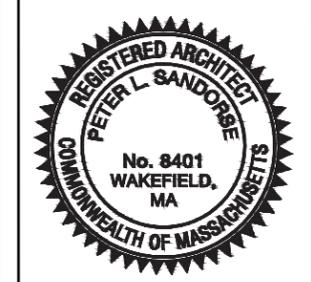
PANEL EDGES SHOULD BE TONGUE-AND-GROOVE OR SUPPORTED BY 2" LUMBER BLOCKING BETWEEN JOISTS. STAGGER PANEL ENDS DIRECTLY OVER FRAMING AND SPACE 1/16".



PHOENIX ARCHITECTS
WAKEFIELD MASSACHUSETTS
(781) 246-0988

PETER L. SANDORSE, A.I.A. - PRINCIPAL

NOTE:
ALL DIMENSION TO BE FIELD VERIFIED & CHECKED. CONTRACTOR TO REPORT CHANGES AND OMISSIONS TO ARCHITECT.



4		
3		
2		
1		
No.	Revision/Issue	Date

GENERAL NOTES

Project Name and Address
O'Sullivan Apartments

489 MAIN STREET
STONEHAM, MA, 02180

<small>Dep. Number</small> 1	10
<small>Date</small> 4.23.15	
<small>Scale</small> 1/4"=1'-0"	

TO: STONEHAM INDEPENDENT

Please publish the following legal notice of a SITE PLAN HEARING
on the following dates:

Wednesday, May 20, 2015

and

Wednesday, May 27, 2015

Bill should be sent to:

Dalia Valencia
335 Main Street, Suite 101
Stoneham, MA 02180

NOTICE OF HEARING

The Stoneham Board of Selectmen will hold a public hearing in accordance with provisions of the Zoning By-Laws on Tuesday, June 9, 2015 at 7:10 PM in the Hearing Room of the Town Hall on the petition of **Dalia Valencia, Kushala Sip Coffee House** to add a 1048 square foot specialty coffee and tea shop with 16-17 seats inside and 5 tables with 10 chairs outside for common seating on the property located at **335 Main Street, Stoneham, MA** on land owned by Middlesex Investment Partners, LLC, 51 Main Street, Stoneham, MA 02180.

Plan may be seen in the office of the Building Inspector.

BOARD OF SELECTMEN

Dates to be published: 5/20/15 & 5/27/15



TOWN OF STONEHAM

Project Review

Review Report

Project: 335 Main Street

Representative(s):

Date: 5/28/15

Status: Project Review

Project Review Team: John Fralick, Robert Grover, Joe Rolli, Joe Ponzio, Cheryl Noble

The information contained herein is subject to review and a final determination by the Board of Selectmen. The purpose of the Project Review is to provide the applicant with an opportunity to understand the regulatory mandates, and to further receive input from Town departments relative to the proposed project. At no time are non-regulatory conditions to be considered final and binding until such time that the Board of Selectmen has agreed to same and/or others when applicable.

Department	Issue(s) Raised	Applicant's Response
DPW Engineering	No comment---fine with DPW	
Police Department	If the seating is in the front of the shop as you verbally explained, the Stoneham Police Department will provide no further improvements or suggestions to the existing plan. Due to the fact there is no alcohol served and the elevation of the seating area, we are comfortable with the current site plan.	
Board of Health	The coffee shop at 335 Main, both site plans look pretty good to me.	

Fire Department	Since it is a sprinklered building with a Fire Alarm system, I don't see any problems.	
------------------------	--	--

Inspectional Services	<p>The parking spaces do not meet the requirement of the bylaws (9' x 18'), therefore a variance is required.</p> <p>The handicapped spaces do not meet the requirements of Architectural Access Board. A variance from the Architectural Access Board is required.</p>	
------------------------------	---	--

Please note this document has been provided to the each of the department heads and a copy has been transmitted to the applicant.

Respectfully submitted,

Cheryl Noble

Sinclair, Erin

From: Grover, Robert
Sent: Tuesday, May 19, 2015 6:17 AM
To: Noble, Cheryl
Subject: RE: 335 Main Street

No comment---fine with DPW

From: Noble, Cheryl
Sent: Monday, May 18, 2015 3:13 PM
To: Rolli, Joe; Ponzo, Joseph; Grover, Robert; Fralick, John
Subject: 335 Main Street

Hey guys,

I left a site plan in your mailbox today for 335 Main Street. They would like to put in a 16-17 seat coffee/tea shop at this location with 10 seats/5 tables on the front patio. Can I have your comment/concerns regarding this?

Thanks

Cheryl

Sinclair, Erin

From: Ponzo, Joseph
Sent: Thursday, May 28, 2015 3:35 PM
To: Noble, Cheryl
Subject: Re: 335 Main Street

I was under the impression they were gonna submit plans that show the proposed seating? However, If the seating is in the front of the shop as you verbally explained, the Stoneham Police Department will provide no further improvements or suggestions to the existing plan. Due to the fact there is no alcohol served and the elevation of the seating area, we are comfortable with the current site plan.

Thanks,

Joe

Sent from joes iphone!

On May 28, 2015, at 3:30 PM, Noble, Cheryl <cnoble@stoneham-ma.gov> wrote:

Anything on this?

From: Ponzo, Joseph
Sent: Monday, May 18, 2015 3:20 PM
To: Noble, Cheryl
Subject: Re: 335 Main Street
Ill be in tomorrow and look at it first thing. Xoxo

Sent from joes iphone!

On May 18, 2015, at 3:12 PM, Noble, Cheryl <cnoble@stoneham-ma.gov> wrote:

Hey guys,
I left a site plan in your mailbox today for 335 Main Street. They would like to put in a 16-17 seat coffee/tea shop at this location with 10 seats/5 tables on the front patio. Can I have your comment/concerns regarding this?
Thanks
Cheryl

Sinclair, Erin

From: Fralick, John
Sent: Tuesday, May 19, 2015 8:48 AM
To: Noble, Cheryl
Subject: RE: 16 Main Street

No sweat, Cheryl. As for the townhouses at 42 Pleasant and the coffee shop at 335 Main, both site plans look pretty good to me. Make sure 42 has pest mitigation on retainer in case anything spreads to the neighboring residential areas.

Thanks, see you at 2 for the receivership thing.

-J

From: Noble, Cheryl
Sent: Monday, May 18, 2015 3:13 PM
To: Fralick, John
Subject: RE: 16 Main Street

Sorry John, I did get yours. Meant to send to someone else. Sorry

Cheryl

From: Fralick, John
Sent: Monday, May 18, 2015 3:12 PM
To: Noble, Cheryl
Subject: FW: 16 Main Street

FWD from 5/7

From: Fralick, John
Sent: Thursday, May 07, 2015 11:27 AM
To: Noble, Cheryl; Rolli, Joe; Ponzo, Joseph; Grover, Robert
Subject: RE: 16 Main Street

Hi Cheryl,

Looks good to me. Just make sure they abide by the noise statutes and keep the dust down, any dumpsters off of public ways, and that they have the means for pest mitigation should the need arise.

Thanks!

-J

Sent from my Sprint Samsung Galaxy S® 6 edge.

----- Original message -----

From: "Noble, Cheryl" <cnoble@stoneham-ma.gov>

Date: 05/07/2015 9:51 AM (GMT-05:00)

To: "Rolli, Joe" <jrolli@stoneham-ma.gov>, "Ponzo, Joseph" <jponzo@stoneham-ma.gov>, "Fralick, John" <jfralick@stoneham-ma.gov>, "Grover, Robert" <rgrover@stoneham-ma.gov>

Subject: 16 Main Street

Hey Guys,

I left a set of plans in your mailboxes yesterday. See attached application. The footprint is staying the same, the use is changing to medical. Please send me your comments.

Cheryl

Sinclair, Erin

From: Rolli, Joe
Sent: Tuesday, May 19, 2015 6:49 AM
To: Noble, Cheryl
Subject: RE: 335 Main Street

Since it is a sprinklered building with a Fire Alarm system, I don't see any problems. I'll look at the site plan.

From: Noble, Cheryl
Sent: Monday, May 18, 2015 3:13 PM
To: Rolli, Joe; Ponzo, Joseph; Grover, Robert; Fralick, John
Subject: 335 Main Street

Hey guys,

I left a site plan in your mailbox today for 335 Main Street. They would like to put in a 16-17 seat coffee/tea shop at this location with 10 seats/5 tables on the front patio. Can I have your comment/concerns regarding this?

Thanks

Cheryl

May 14, 2015

To Whom It May Concern:

This letter is in support of the attached Site Plan Hearing Application for Kushala Sip Coffee House, LLC. To be located at 335 Main Street, Suite 101, Stoneham, MA, 02180. This retail space is part of a recently renovated building, formerly The Heritage Building.

We intent to build in this space a specialty coffee and tea house, to provide espresso based beverages, teas, smoothies, hot chocolate, frozen beverages and some pastries. The usable area within the space is 1,048 sq. ft. and it will be altered to fit the espresso bar area, handicap customer's restroom, and 16-17 seats maximum, and some storage space.

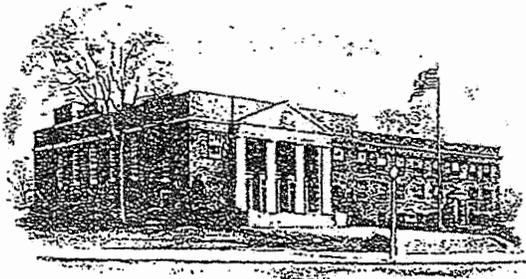
Please feel free to contact me with any further questions at 617 412 5515 / dvalencia76@gmail.com or Joe Senna at 781 438 5500 from Middlesex Investment Partners, LLC. – Owners of the building.

Kindest regards,

A handwritten signature in black ink, appearing to read 'Dalia Valencia', written over a horizontal line.

Dalia Valencia

Kushala Sip Owner-Manager



TOWN OF
STONEHAM
 MASSACHUSETTS
 BUILDING AND WIRE DEPARTMENT

SITE PLAN HEARING APPLICATION

Date: 5/14/2015

The undersigned, owner of the property, hereby applies for a Site Plan Hearing according to the Provisions of Chapter 16 of the Town Ordinance.

- I. A. The applicant shall complete two copies of this form and submit 18 copies of the "Site Plan" by a Registered Engineer.
- B. Submit a letter from the owner describing the type of building being constructed, renovated, altered and the proposed use of said building.
- C. Attach a copy of the Special Permit and Board of Appeals Decision (if applicable).

II. Fill in the following data as required for this hearing.

- A. Location of Property... 335 Main Street Suite 101, Stoneham, MA.
- B. Name of Owner... Tenant - Dalia Valencia / Building owner - Middlesex Investment Partners, LLC
- C. Address of Owner... 432 Salem Street, Woburn, MA, 01801
- D. Business Name (If Different from Owner)... Kushala Sip Coffee House, LLC.
- E. Telephone Number of Owner... 617 412 5515
- F. Present Use of Building or Property... Retail/office
- G. Height of existing and/or proposed structure... Existing - 22 ft.
- H. Has there been a previous Site Plan on this property? Yes... No...
 If "YES" give the dates?
1973
- I. Zoning District... Central Business District

III. PREPARE AND FILE WITH THIS FORM A "SITE PLAN". STATE THE ZONING DISTRICT IT LIES WITHIN. SHOW THE LOT, ITS AREA, DIMENSIONS, AN ACCURATE COMPLETE OUTLINE OF THE PROPOSED AND ANY EXISTING STRUCTURES THEREON, DISTANCES FROM ALL BOUNDARY LINES, PARKING, COMPUTATIONS FOR ALL REQUIRED PARKING. SITE PLAN SHALL BE PREPARED AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER/SURVEYOR.

TOWN OF STONEHAM
 BUILDING AND WIRE DEPARTMENT
 2015 MAY 18 A 9

A. NAME & ADDRESS OF THE ENGINEER. DSA Architects - Dough Shoop
66 High Street, Medford, MA, 02155

IV. PROVIDE SUPPLEMENTARY DRAWING TO SHOW THE NATURE AND CHARACTER OF THE PROPOSED STRUCTURE.

V. PROVIDE A DESCRIPTION OF YOUR PROPOSAL INCLUDING THE INTENDED USE OF THE PROPERTY. NOTE: THIS DESCRIPTION WILL APPEAR IN THE LEGAL NOTICE OF THE NEWSPAPER, AND IS SUBJECT TO REVIEW BY THE OFFICE OF THE BOARD OF SELECTMEN.

Independent coffee & tea house - We will provide espresso based beverages, tea, smoothies, hot chocolate, frozen drinks, bagels, croissants and other pastries. We intend to add a espresso bar, — 16 to 17 seats for customers, and have 2 employees.

VI. I, THE UNDERSIGNED - ^{Tenant} ~~OWNER~~ OF PROPERTY, AFFIRM THAT THE FOREGOING STATEMENTS ARE TRUE STATEMENTS OF FACT TO THE BEST OF MY KNOWLEDGE AND BELIEF. *Proposed owner: C. Lem...*

SIGNED *D. DeLuca* - Tenant STREET # 335 MAIN STREET, SUITE 101
TOWN STONEHAM STATE MA PHONE NO. 617 412 5515

VII. FILE ONE COPY OF THIS APPLICATION WITH A CHECK IN THE AMOUNT OF \$300.00, PAYABLE TO THE TOWN OF STONEHAM.

VIII. A. A NEW SITE PLAN IS REQUIRED FOR ANY CHANGES AFTER THE WORK ON AN EXISTING SITE PLAN HAS BEEN COMPLETED AND FINAL APPROVAL RECEIVED.

B. A NEW SITE PLAN IS ALSO REQUIRED IF THE DATE HAS EXPIRED ON AN EXISTING SITE PLAN.

IX. FILE ONE COPY OF THIS APPLICATION WITH THE TOWN CLERK FOR RECORD.

X. SITE PLAN AMENDMENT:

A. AMENDED SITE PLANS ARE SUBJECT TO A NEW HEARING BEFORE THE BOARD OF SELECTMEN.

B. NEW APPLICATION SHALL BE SUBMITTED.

C. FEE: ONE HUNDRED (\$100.00) DOLLARS.

D. CHANGES DURING WORK TO AN EXISTING SITE PLAN IS CONSIDERED AN AMENDED SITE PLAN.

E. FEE OF \$100.00, PAYABLE TO THE TOWN OF STONEHAM.

Paid _____

Stoneham Certified Abutters List Request:

Subject Property Location 335 Main St
Parcel ID of the Subject Property _____
Applicant's Name Dalia Valencia
Applicant's Telephone Number 617-412-5515

Purpose of Abutters List

- Zoning Board of Appeals (Variance or Special Permit)**
includes all abutters of the subject property within a 300 Foot Radius

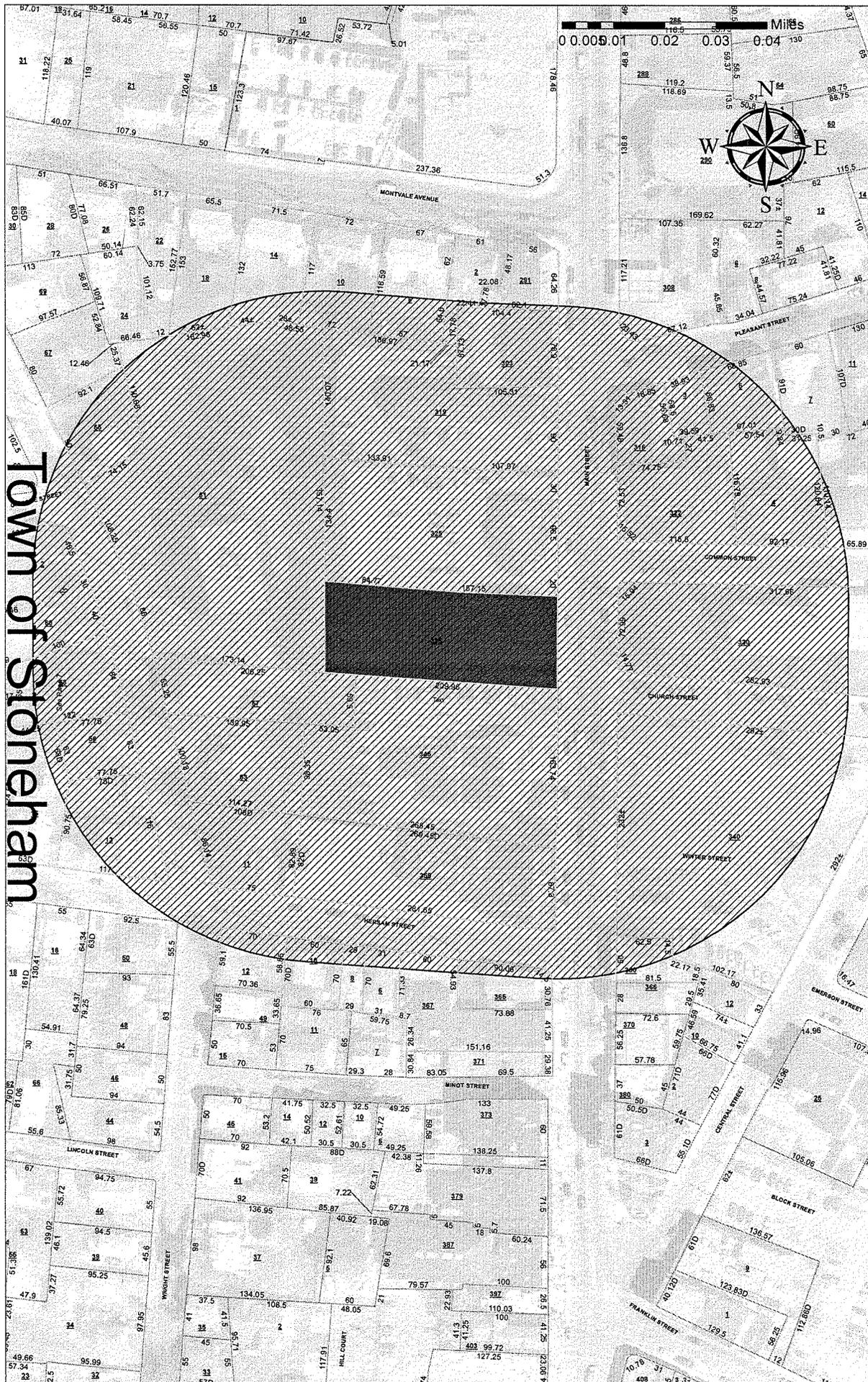
- Planning Board**
 - Accessory Dwelling or In-Law Apartment - 300 Foot Radius
 - Special Permit - 300 Foot Radius
 - Sub-Division - Direct Abutters Only
 - Warrant Articles - No A

- Site Plan**
includes all abutters of the subject property within a 300 Foot Radius

- Liquor License**
includes direct abutters and all churches, school and hospitals within 500 Feet

- Utility**
A review of the proposed utility work must be presented to the Director of Department of Public Works. The scope of the proposed work will be analyzed and a map will be created indicating the abutters in need of notification. This map must then be provided to the Assessors Office for a Certified Abutters List to be generated.

* The cost of any abutters list is \$25.00



ABUTTERS LIST - 335 MIAN ST - 18 - 204



Patriot Properties

05/18/2015

10:19:30AM

Town of Stoneham

GIS - Abutters by Location

Filter Used:

DataProperty.AccountNumber in

(2948,2947,2946,2945,2931,2944,2943,2942,2941,3235,3236,3237,3238,3239,3240,3241,3242,3244,3245,3246,3247,3248,3249,3250,7846,2940,1254,2933,2956,2935,7755,7756..

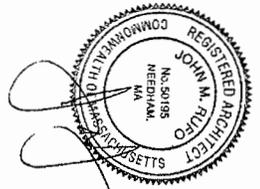
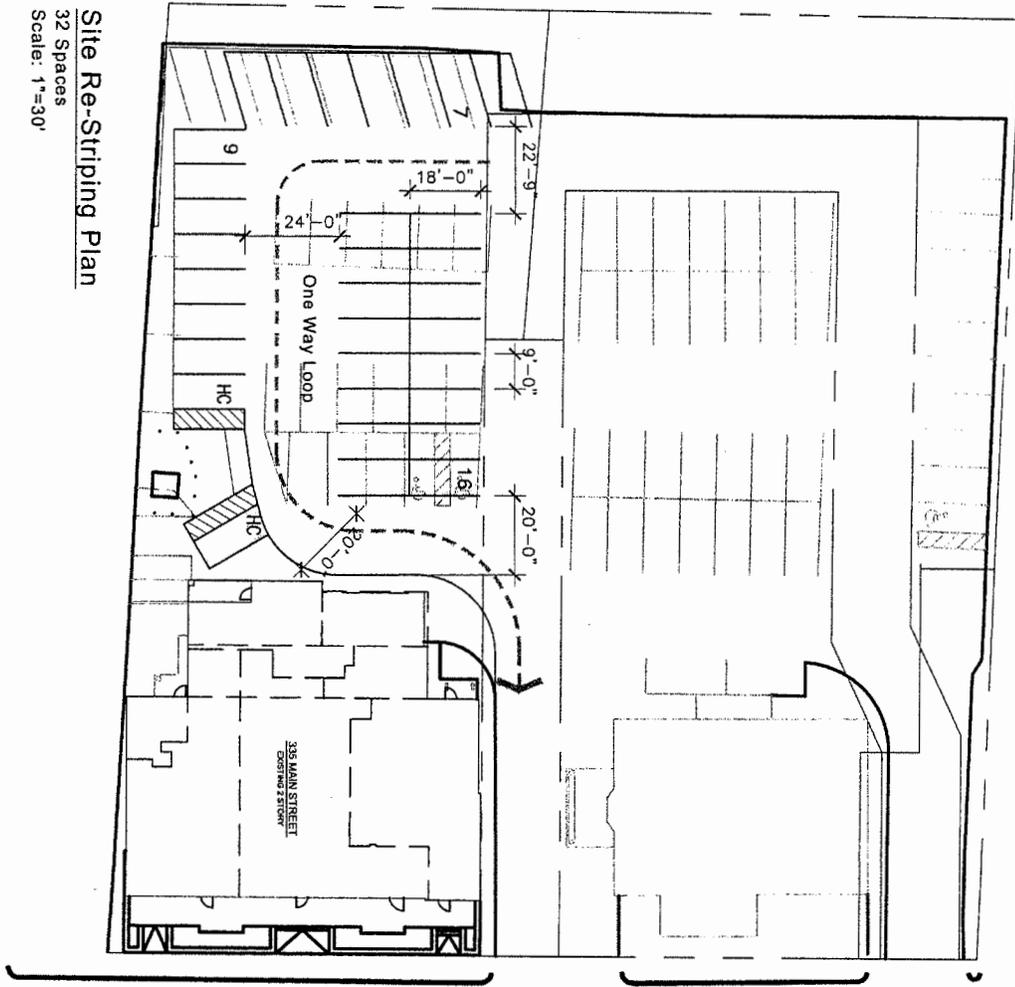
Parcel ID - Map/Block/Lot	Location	Owner/Mailing Address
12-0-4116	10 COMMON ST 6	LEEMAN JANET 10 COMMON ST U# 6 STONEHAM MA 02180
12-0-410	4 COMMON ST	ANDERSON JOHN L. / ANDERSON TRUDANCE B. TR 25 WEST ST STONEHAM MA 02180
12-0-4111	8 COMMON ST 1	DEVIN DEIRDRE 8 COMMON ST UNIT 1 STONEHAM MA 02180
12-0-4112	8 COMMON ST 2	RICHMOND JOY 8 COMMON ST U# 2 STONEHAM MA 02180
12-0-4113	8 COMMON ST 3	ALBANESE GIOVANNI 32 BIRCH POND DRIVE SAUGUS MA 01906
12-0-4114	8 COMMON ST 4	TUOHY KATHERINE E 8 COMMON ST UNIT 4 STONEHAM MA 02180
12-0-4115	8 COMMON ST 5	RAMOS DEANDRA S. 8 COMMON ST UNIT 5 STONEHAM MA 02180
12-0-411	8-10 COMMON ST	COMMON STREET CONDO ASSOCIATION STONEHAM MA 02180
18-0-125B	2 GILMORE ST	HEGARTY THOMAS A. 2 GILMORE STREET / STONEHAM MA 02180
18-0-133	10 HERSAM ST	CARABITSES GREGORY N. / CARABITSES SARAH M 10 HERSAM ST STONEHAM MA 02180
18-0-128	11 HERSAM ST	HERSAM-MYRTLE LLC / MASS. LIMITED LIABILITY C 50 DODGE STREET / BEVERLY MA 01915-1711
18-0-134	12 HERSAM ST	MAGLIOZZI RAYMOND R. JR. 12 HERSAM ST STONEHAM MA 02180
18-0-123	13 HERSAM ST	BERGOLD DOROTHY B 13 A HERSAM ST. STONEHAM MA 02180
18-0-122	15 HERSAM ST	RIESS RUDOLPH M / DAGMAR I RIESS 15 HERSAM ST STONEHAM MA 02180
18-0-131	6 HERSAM ST	HABBOULI OTHMANE 6 HERSAM ST / STONEHAM MA 02180
18-0-132	8 HERSAM ST	MINASIAN CHARLES / MINASIAN HRIPSIME 3 FULTON ROAD LEXINGTON MA 02173

Parcel ID - Map/Block/Lot	Location	Owner/Mailing Address
17-0-203	291 299 MAIN ST	MITRANO FAMILY LLC 291 MAIN ST STONEHAM MA 02180
17-0-202	303 MAIN ST	ADDAVERO LLC 291 MAIN STREET STONEHAM MA 02180
17-0-191	308 MAIN ST	FRANGIAS STEPHANOS / FRANGIAS HARITOMENI 308 MAIN STREET STONEHAM MA 02180
17-0-197	316 320 MAIN ST	LANTZAKIS THEODORE TR. / 316-320 MAIN ST RLT 6 SHIPLEY CT / MIDDLETON MA 01945
17-0-201	319 MAIN ST	319 OTIS REALTY LLC 47 MONTVALE AVE STONEHAM MA 02180
17-0-198	322 MAIN ST	MCDONALD BROTHERS II / FUNERAL SERVICES, L 322 MAIN ST STONEHAM MA 02180
17-0-199	325 MAIN ST	BANK OF AMERICA / ATTENTION: CORP R.E. ASSEN 101 N. TRYON STREET CHARLOTTE, NC 28255
12-0-409	330 MAIN ST	FIRST CONGREGATIONAL CHURCH / 330 MAIN ST / STONEHAM MA 02180
18-0-204	335 MAIN ST	MIDDLESEX INVESTMENT PARTNERS / 51 MAIN STREET STONEHAM MA 02180
18-0-203	345 MAIN ST	US POST OFFICE 345 MAIN ST STONEHAM MA 02180
18-0-202	359 MAIN ST	SALEM FIVE BANK / ATTN: FACILITIES 210 ESSEX ST SALEM MA 01970
18-0-211	360 364 MAIN ST	DIETZ ROBERT / KAREN M DIETZ 20 PINE ST LYNNFIELD MA 01940
18-0-201	365 MAIN ST	GILBERTSON JOHN R 365 MAIN ST STONEHAM MA 02180
18-0-200	367 MAIN ST	KOHEN I IYA P.O.BOX 80454 STONEHAM MA 02180
17-0-206	10 12 MONTVALE AV	MARRONE-JOYCE JO ANN S. 12 MONTVALE AVE / STONEHAM MA 02180
17-0-207	14 16 MONTVALE AV	MITRANO FAMILY LLC 291 MAIN ST STONEHAM MA 02180

Parcel ID - Map/Block/Lot	Location	Owner/Mailing Address
17-0-208	18 20 MONTVALE AV	HOLT ELVIRA E. TRS / 4754 ESCALANTE DRIVE / NORTH PORT FL 34287
17-0-204	2 4 MONTVALE AV	MITRANO FAMILY LLC 291 MAIN ST STONEHAM MA 02180
17-0-209	22 MONTVALE AV A-B	MOUZAKIS CYNTHIA A. / LANDRY STEVEN M. 160 COMMANDANTS WAY / UNIT 407 CHELSEA MA 02150
17-0-205	6 8 MONTVALE AV	MITRANO FAMILY LLC 291 MAIN ST STONEHAM MA 02180
17-0-195	5 PLEASANT ST	POST INVESTMENT RLTY CORP P.O. BOX 477 STONEHAM MA 02180
12-0-416	7 PLEASANT ST	STUART WILLIAM F. / LORRAINE L. STUART 550 MAIN STREET / STONEHAM MA 02180
18-0-127	53 WRIGHT ST	GRAZIANO JOHN V. / TRACY L. GRAZIANO 53 WRIGHT ST STONEHAM MA 02180
18-0-124	56 WRIGHT ST	LANDERS ELLYN / 56 WRIGHT STREET / STONEHAM MA 02180
18-0-126	57 WRIGHT ST	VITTIGLIO GUIDO / LISA M VITTIGLIO 24 COUNTRY CLUB RD STONEHAM MA 02180
18-0-125	58 WRIGHT ST	MCKIN JAMES MARTIN / GERA DAVID 58 WRIGHT STREET / STONEHAM MA 02180
18-0-125A	60 WRIGHT ST	FLAHIVE JAMES A. 60 WRIGHT STREET STONEHAM MA 02180
17-0-216	61 WRIGHT ST	EMERSON SQUARE CONDO ASSOCIATION STONEHAM MA 02180
17-0-482	61 U-101 WRIGHT ST 101	MUNRO MICHAEL F 2328 ARCHWOOD LN #71 SIMI VALLEY CA 93063
17-0-483	61 U-102 WRIGHT ST 102	GRESKI JOSEPH H. / 61 WRIGHT ST U# 102 / STONEHAM MA 02180
17-0-484	61 U-103 WRIGHT ST 103	CONNOR FREDERICK J 61 WRIGHT ST U# 103 STONEHAM MA 02180
17-0-485	61 U-104 WRIGHT ST 104	BURKE JENNIFER C. 61 WRIGHT ST U# 104 STONEHAM MA 02180

Parcel ID - Map/Block/Lot	Location	Owner/Mailing Address
17-0-486	61 U-105 WRIGHT ST 105	BERG ALLISON E. 61 WRIGHT ST U# 105 / STONEHAM MA 02180
17-0-487	61 U-201 WRIGHT ST 201	MCDONOUGH BRIDGET 61 WRIGHT ST U# 201 STONEHAM MA 02180
17-0-488	61 U-202 WRIGHT ST 202	CONNOLLY FRANCIS A. / CONNOLLY ELIZABETH M. 61 WRIGHT ST U# 202 STONEHAM MA 02180
17-0-489	61 U-203 WRIGHT ST 203	GARABEDIAN MARK 61 WRIGHT ST U# 203 STONEHAM MA 02180
17-0-490	61 U-204 WRIGHT ST 204	BLANKENSHIP LINDA G. 61 WRIGHT ST U# 204 STONEHAM MA 02180
17-0-491	61 U-205 WRIGHT ST 205	PLOETZ MARIANNE / C/O DOROTHY WELKER 7 LIVE OAK LANE HICKORY CREEK TX 75065
17-0-492	61 U-301 WRIGHT ST 301	MCALLISTER DAVID W. / KELLEY R. KEVIN 61 WRIGHT ST U# 301 STONEHAM MA 02180
17-0-493	61 U-302 WRIGHT ST 302	FURBUSH ALICIA 61 WRIGHT ST U# 302 / STONEHAM MA 02180
17-0-494	61 U-303 WRIGHT ST 303	PAICOPOLOS LLC / MASS LIMITED LIABILITY COM. 21 CRYSTAL DRIVE STONEHAM MA 02180
17-0-495	61 U-304 WRIGHT ST 304	GIORDANO DONALD F. JR. / 61 WRIGHT ST U# 304 / STONEHAM MA 02180
17-0-496	61 U-305 WRIGHT ST 305	CONA RICHARD A. / 61 WRIGHT ST U# 305 / STONEHAM MA 02180
17-0-215	65 WRIGHT ST	CARREIRO JOHN C / DIANNE LAPLUMA CARREIRO 65 WRIGHT ST STONEHAM MA 02180

Site Re-Striping Plan
 32 Spaces
 Scale: 1"=30'



FORM + PLACE
 127 Washington Street, Suite 3
 Newburyville, MA 02450
 (617) 795-1685

Site Plan

Middlesex Investment Partners
The Heritage Building
 335 Main Street
 Stoneham, MA 02180

Project No:	13028
Drawing By:	MM
Scale:	1" = 30'-0"
Date:	18 May 2015

Sketch No:
SP-01

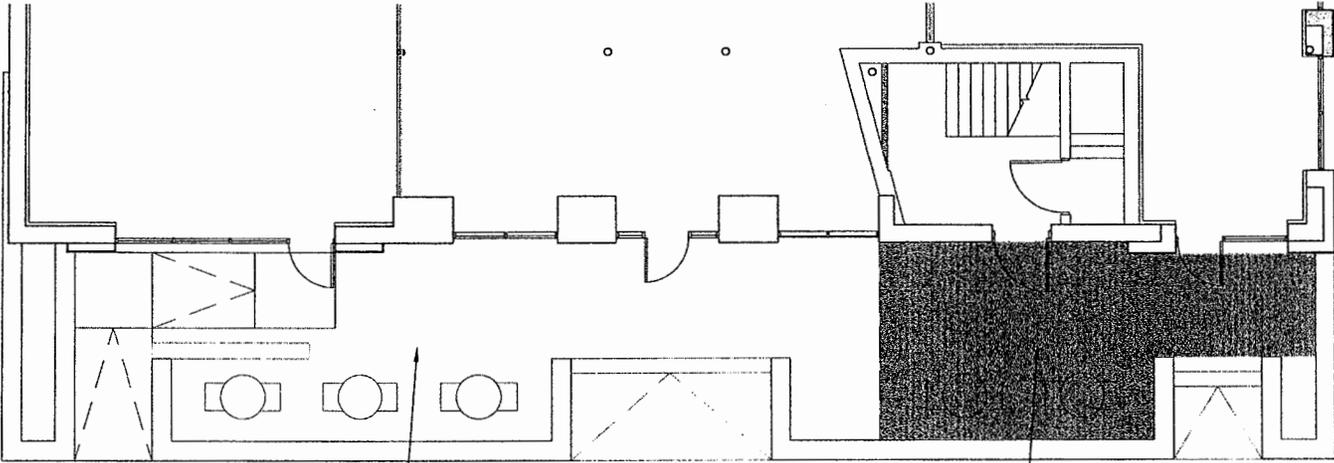
335 Main Street Summary

First Floor:
 Coffee Shop (18 seats) 1,200 sf
 NV Salon 1,900 sf
 ReMax 2,158 sf

Second Floor:
 Yoga Moves 1,300 sf
 Stoneham Chamber 650 sf
 Vacant Office 1,650 sf

Retail Parking (1/350 sf) = 12 sp
 Office Parking (1/350 sf) = 10 sp
 Restaurant Parking (1/3 seats) = 6 sp
 Parking for Patio Seating (10seats) = 3 sp

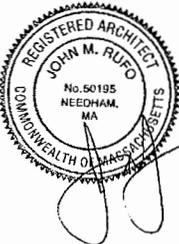
Total Parking Required = 31 sp
 Total Parking Existing = 32 sp



Patio Area No. 1:
 Food Service Use - 6 seats

Patio Area No. 2:
 Office Use - 4 seats

1 PARTIAL PLAN @ PATIO
 SCALE: 1/8"=1'-0"



FORM & PLACE
 122 Washington Street, Suite 3
 Boston, MA 02108
 (617) 784-1888

Project No: 13028
 Drawing By: MM
 Scale: 1" = 30' 0"
 Date: 18 May 2015

SP-02

Middlesex Investment Partners
The Heritage Building
 335 Main Street
 Stoneham, MA 02180

Patio Plan



TAX MAP 17 PARCEL 216
N/F EMERSON SQUARE CONDOMINIUM
BOOK 15068 PAGE 23 M.S.R.D.

N 0° 04' 12" E
13.64'

N 0° 47' 30" E 217.02'

97.00'
7' CLF
MASONRY RET. WALL W/ 4' CLF

20' WIDE RIGHT OF WAY

S 85° 43' 30" E 84.96'
58.58'

TAX MAP 17 PARCEL 199
N/F BANK OF AMERICA
BOOK 14249 PAGE 195 M.S.R.D.

N 00° 29' 33" E 10.22'
S 89° 30' 27" E 157.15'

20' WIDE RIGHT OF WAY

S 89° 30' 27" E 215.50'

LOT A
AREA = 25,600 SQ. FT.

BIT. CONC. ONE WAY

TAX MAP 18 PARCEL 126
N/F GUIDO VITTIGLIO
& LISA M. VITTIGLIO
BOOK 14578 PAGE 391 M.S.R.D.

SB/DH FOUND

MASONRY RET. WALL W/ 6' CLF

WOOD RET. WALL

N 86° 21' 00" W 242.80'

TAX MAP 18 PARCEL 203
U.S. POST OFFICE

BANK OF AMERICA

NO. 325

DRIVE THRU TELLER

BIT. CONC.

SIGN

RRS

CONC.

1 STORY

2 STORY BRICK

2 STORY

1 STORY

CONC.

ROOF OVERHANG

CONC.

ROOF

LANDSCAPE

3' CLF

BACK 1.0'

3.7'

CB/CL

FOUND DOWN 0.3'

14.4'

RAMP

SIGN

W/ 6' CLF

S 0° 29' 33" W 114.99'

NO. 335

FLAGPOLE

FIRE CALL BOX #632

MAIN STREET (ROUTE 28 - PUBLIC - VARIABLE WIDTH)

OWNER OF RECORD

MIDDLESEX INVESTMENT PARTNERS LLC
BOOK 62812 PAGE 588 M.S.R.D

ZONING DISTRICT

TAX MAP 18 PARCEL 204
CENTRAL BUSINESS DISTRICT (CBD)

PLAN REFERENCES

PLAN NO. 820 OF 2013

NOTE:

1. NOT ALL PAINTED PARKING SPACES COMPLY WITH 9'X18' SIZE REQUIREMENT
2. 2 HANDICAP PARKING SPACES DO NOT COMPLY WITH 521CMR ARCHITECTURAL ASSESS BOARD DIMENSIONS

PARKING REQUIREMENTS:

1ST FLOOR

COFFEE SHOP 18 SEATS 18/3= 6 SPACES

NV SALON 1,900SQ.FT. 1900/350= 5.4SPACES

REMAX OFFICE 2,158SQ.FT. 2158/350= 6.2SPACES

2ND FLOOR

YOGA MOVES 1,300SQ.FT. 1300/350= 3.7SPACES

STONEHAM CHAMBER 650SQ.FT. 650/350= 1.9 SPACES

OFFICE 1,650SQ.FT. 1650/350= 4.7 SPACES

BASEMENT

STORAGE 709SQ.FT. 709/750= 0.9 SPACES

28.8 SPACES

OUTSIDE SEATS = 20

TOTAL AREA 280SQ.F
(BELOW SEATS) 280/350= 0.8 SPACES= 1 SPACE
1 SPACE

TOTAL PARKING SPACES REQUIRED = 29.8 = 30

PARKING SPACES PROVIDED = 32



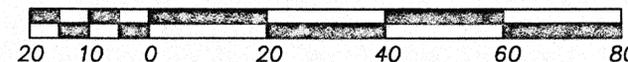
I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY.

Andrew C. Bramhall P.L.S.

6/4/15
DATE

**AS-BUILT
SITE PLAN OF LAND
325 MAIN STREET
STONEHAM, MASS.**

SCALE 1" = 20' JUNE 03, 2015
BENCHMARK SURVEY 41 ELM STREET
SUITE 4A
STONEHAM, MA 02180
(781) 279-9109



Town of Stoneham

A Proclamation

We, the Board of Selectmen of the Town of Stoneham, Massachusetts, by virtue of the authority vested in us by the people of the Town of Stoneham as elected officials, do hereby proclaim Sunday, July 26, 2015 as

Spirit of the 25th Anniversary of the
Americans with Disability Act (ADA)

We urge all citizens of the Town of Stoneham, its community leaders, businesses and government officials, to celebrate the contributions that people with disabilities have made and continue to make.

As the Board of Selectmen of the Town of Stoneham, we renew our commitment to upholding the nondiscrimination principles of the ADA.

We urge that all citizens support the efforts of the Independent Living Center of the North Shore and Cape Ann, Inc., which is the voice of all persons with disabilities and their families. This proclamation is an acknowledgement of the rights of all persons with disabilities under the ADA and their daily activities, struggles and triumphs here in our Town of Stoneham.

Given at the Executive Chamber of the Board of Selectmen, the Town of Stoneham, this 9th day of June, in the year of our Lord, two thousand fifteen.

Thomas Boussy, Chairman

Ann Marie O'Neill, Vice Chairman

Caroline Colarusso

John F. DePinto

Frank Vallarelli

To: David Ragucci

From: Water and Sewer Review Board

Date: June 1, 2015

RE: FY2016 Water and Sewer Rates

The Water and Sewer Review Board met for a second time on 5/28/2015 to discuss a recommendation for FY16 rates. This meeting was advertised in the 5/27/2015 editions of both the Stoneham Sun and Stoneham Independent, as well as on Facebook through the Town's own Facebook page and in the "Stoneham Community Group." At the meeting, we had five citizens in attendance, most of whom spoke to ask questions and offer concerns. All of the board members were present, as well as DPW director Bob Grover.

Mr. Grover presented updated information based on the latest assumptions regarding Atlantic Gelatin usage and the one year deferral of loan payments through the MWRA. The Board received this information only 4 hours prior to the meeting which left us with limited time to thoroughly examine it and prepare questions.

In the end, the Board voted 3-2 to increase the water rate by \$1.00/hcf making the new rate \$6.00/hcf and lowering the sewer rate by \$.75/hcf making the new rate \$9.05/hcf. This results in an overall combined increase of \$.25/hcf.

An alternative plan was discussed to increase the water rate \$.90 and lower the sewer rate \$.90 making the rate changes a wash and having a smaller effect on the rate payers. Some members of the Board felt this scenario wouldn't leave enough in the reserves and ultimately didn't come to a vote due to the original scenario coming to a vote first and passing.

If you have any questions, please feel free to contact us.

Respectfully,

Scott LeBeau, Chairman
Water and Sewer Review Board

Cc: Board of Selectman
Finance Advisory Board
Bob Grover, DPW Director

Sinclair, Erin

Subject: FW: Telephones

From: Cicatelli, Thomas

Sent: Thursday, June 04, 2015 12:55 PM

To: Sinclair, Erin

Subject: RE: Telephones

The current telephone system is approximately 15 years old and has recently become very unreliable. This morning, the Police Department phones developed static and required repair. This is no less than the 4th time in as many weeks. On two of these occasions, the phone systems failed completely. If this happens during an emergency, we might not get the person back on the phone. I would like to be placed on the agenda to discuss the scope of my solution as well as potential customer service improvements with the introduction of new technology.

-Tom

Disability Committee

One (1) reappointment for a three-year term effective until April 30, 2018.

CANDIDATES:

- * Sue Coughlin
300 Mountain View Drive, #312

May 18, 2015

Stoneham Board of Selectmen,

I would like to continue to serve on the Stoneham Disability Committee to continue the Town to move forward in making Stoneham accessible and truly a better place to work, play and live. My knowledge and experience will help benefit the Committee.

Thank you,

Susan E. Coughlin

300 Mountain View Dr. #312
Stoneham
781-443-5367

Conservation Commission

One (1) Associate member appointment for a one-year term effective until **April 30, 2016**.

CANDIDATE:

* Nicholas DiCarlo
5 Elizabeth Road

CANDIDATE FOR COMMITTEE/BOARD

Name: Nicholas DiCarlo (Email) ndicarlo1436@gmail.com

Address: 5 Elizabeth Rd, Stoneham 781 258-3858
(Cell#)

(Work) _____ (Tel.) 781-258-3858

(Home) _____ (Tel.) 781 438-6010 +

How did/do you hear about the position? Selectman, AnnMarie O'Neill

Have you given your time previously as a volunteer? Y N

If Y, in what capacity/ies? _____

Why do you want to become a committee/board member? What would you like to get out of this experience?

I would like to join the Conservation Commission to make Stoneham even better than it already is. Our town has such valuable resources and I want to ensure that they are maintained and enjoyed by all citizens of Stoneham.

What interests, activities or hobbies do you enjoy? _____

I enjoy most outdoor activities like, hiking, cycling, fishing, kayaking, skiing.

Previous/current Occupation/s, Position: student at Westfield State University

Education/Training, Hobbies or Other Skills: BS Environmental Science & BS Regional Planning/Environmental Planning

Other organizations to which s/he belongs: APA - American Planners Assoc

How long do you think you'd like to be involved with the board? unknown

Are you prepared to attend a training/information session/board meeting? yes

Are you willing to undergo a CORI background check? Y N

What are his/her current interests (in the board/committee)? Conservation Commission

Comments: _____

Sponsor: _____ Date : _____ CORI: _____

Stoneham Board of Selectmen – Minutes of Meeting of April 28, 2015

Chairman Thomas Boussy called the meeting to order at 7:00 p.m. Also present were Selectwoman Caroline Colarusso, Selectman John F. DePinto, Selectwoman Ann Marie O’Neill, Selectman Frank Vallarelli, Town Administrator David Ragucci and Town Counsel William H. Solomon.

Pledge of Allegiance

TIF Process Discussion/Town Planner (Time 1:40-12:20 on Stoneham TV on Demand)

Town Planner Erin Wortman stated she is not going to make another presentation she is available for questions. Mrs. Wortman clarified that the TIF exists per law whether this passes or not tonight. Her goal was to educate the Town and create a policy. Chairman Boussy states he feels this is a great economic tool. Chairman Boussy gave a brief presentation on the process. Selectman DePinto asks if the Board of Selectmen have the final approval. Mrs. Wortman states yes. Selectwoman O’Neill states she thinks this is a great opportunity for businesses who want to invest in Stoneham. Selectman Vallarelli made a motion to approve Erin’s recommendations regarding the TIF process, seconded by Selectman DePinto and **unanimously voted (5-0)**.

DPW Capital Purchases Discussion (Time 12:21-55:53) on Stoneham TV on Demand

DPW Director Robert Grover was present to inform the Board of the equipment specs/cost for the two trucks that the DPW is requesting be purchased and explained why these need to be replaced immediately. Mr. Grover explained the thought of using Chapter 90 money to purchase these trucks. He states that the Town will be receiving other funds and could replace the money at that point. Mr. Ragucci informs the Board that today the Fallon Road Developers deposited 1.7 million of mitigation money. Chairman Boussy states his concern of using this money while facing the Gelatin closing. There was a discussion on the monies in the Water & Sewer Enterprise accounts. Selectman Vallarelli states he has met with Dave, Bob and Bill Previdi and they are working with really old equipment and this needs to be ordered now because of the six month wait time and secondly he states that the DPW saved us a lot of money the way the ran the snow and ice. Selectmen Vallarelli states he feels that DPW really utilized the equipment and men really well for a bad winter. Selectwoman O’Neill states she does not want anyone working in unsafe vehicles. Selectwoman O’Neill states she wants to see the process of purchases done publically. There was a discussion on the capital purchase plan in place. Selectwoman Colarusso speaks on the operations of the DPW. She asks why DPW is not contracting more work out. Selectwoman Colarusso would like to evaluate and see if contracting work out would make more sense. Mr. Grover explains the contracting process. Selectwoman Colarusso would like to look at other ways to be cost effective. Chairman Boussy asks how much is the total to purchase the two trucks and backhoe. Mr. Grover states around \$300,000.00. Selectman DePinto made a motion to purchase the trucks and equipment out of Capital Stabilization Account, seconded by Selectman Vallarelli. A roll call vote was taken.

Voting in Favor

Selectman DePinto
Selectwoman O’Neill
Selectman Vallarelli
Chairman Boussy

Abstaining

Selectwoman Colarusso

Motion passed (4-1-0).

Bill Previdi spoke on the Capital Committee Plan and asked if this would have to be a warrant article. Attorney Solomon responded he will speak with Ron Florino and DOR. Robert Verner asks why it takes so long to order something like this. John Eaton would like to ask Mr. Grover about piping near Weiss Farm. Chairman Boussy states this is out of the scope.

DPW Budget Snapshot/Colarusso (Time 57:00-96:00 on Stoneham TV on Demand)

Selectwoman Colarusso states that with the Board trying to plan and organize better. She states that we all agree that public safety is number one. She states that the way our town is cared for and maintained is important also. Mrs. Colarusso states that is no question of the dedication of the employees they are working 7 days a week for the past few years. Mrs. Colarusso explains that the display chart is all overtime. Selectwoman Colarusso feels that we have not properly planned for this department. Mrs. Colarusso states moving forward she would like to see us plan for this department. Chairman Boussy discusses changing the schedule to multiple shifts. Mr. Grover explains the way some of the shifts are setup. Selectwoman O’Neill would like to see all equipment on the capital plan. Jim Sullivan 6 Sunset Road is concerned as to why there is a problem getting information. Mr. Sullivan states lets gets better with what we have. Bill McCabe employee at DPW spoke on the daily operations of DPW. Dave Visocchi the mechanic for DPW works speaks on his responsibilities. Chairman Boussy closes public hearing and thanks everyone who spoke.

Present Trevor Woodman with Certificate (Time 96:01-97:39 on Stoneham TV on Demand)

Chairman Boussy states that Trevor Woodman received his Eagle Scout Badge and was going to be here for a presentation but has a track meet and cannot be here tonight. We will see if he can come in again in the next two weeks.

Open Space & Recreation/Golf Discussion (Time 98:00-143:37 on Stoneham TV on Demand)

Dennis Visconti and Joanne St. Pierre both members of the Open Space & Recreation was present to give a presentation on the golf course. The topics for discussion were 1. Introduction, 2. Revenue History, 3. Current Management status of contract, 4. Options for golf course, 5. Impacts of each option, 6. RFP process and timeline, 7. Open Space & Recreation recommendation and 8. Next steps. Chairman Boussy opens discussion to the public. Selectwoman Colarusso made a motion to go ahead with recommendations of the Open Space and make sure all departments adhere to the dates and timeline, seconded by Selectwoman O’Neill. A roll call vote was taken.

Voting in Favor

Selectwoman Colarusso
Selectman DePinto

Selectwoman O'Neill
Selectman Vallarelli
Chairman Boussy

Motion passed (5-0).

John Eaton asked about the expenditures of the courses. Joanne St. Pierre gave him what he requested.

Doherty's Way Homeowner's Association Agreement/Houghton (Time 144:00-157:59 on Stoneham TV on Demand)

Selectman Vallarelli recused himself from this discussion and left the room.

Attorney Charles Houghton was present to discuss the Doherty's Way Homeowner's Association Agreement. Selectwoman O'Neill asks about provisions being in the Homeowners Agreement about utility companies. Attorney Houghton states this agreement pertains to drainage. Chairman Boussy asks if this development will become a public way. Attorney Houghton states this development will probably become a public way some day. Selectwoman Colarusso asks that they be clear this is private way when the homes are sold. Selectman DePinto made a motion to approve the declaration of trust of Doherty's Way Homeowners Association Trust including obligations to the Town, seconded by Selectwoman O'Neill and **unanimously voted (4-0)**.

Accept Bench from Bernat Family (Time 158:40-159:33 on Stoneham TV on Demand)

Selectman DePinto made a motion to accept the gift, seconded by Selectwoman O'Neill and **unanimously voted (5-0)**.

Selectwoman O'Neill made a motion to move up to agenda item #11, seconded by Selectman DePinto and **unanimously voted (5-0)**.

Appointment to Historical Commission (Time 159:40-160:40 on Stoneham TV on Demand)

Selectman DePinto made a motion to appoint Dolly Wilson 181 Central Street to the position of Alternate member on the Historical Commission for a one year term effective until April 30, 2016, seconded by Selectwoman O'Neill and **unanimously voted (5-0)**.

Chairman Boussy asked for a 5 minute recess.

Approve Common Vic License/Gin U Dee Restaurant/418 Main Street (Time 166:00-167:03 on Stoneham TV on Demand)

Selectman DePinto made a motion to approve contingent upon Department Heads signing off, seconded by Selectwoman O'Neill and **unanimously voted (5-0)**.

Approve Common Vic License/Kashaya Sip Coffee Shop/335 Main Street, Suite 101 (Time 167:04-171:16 on Stoneham TV on Demand)

Selectman DePinto made a motion to approve contingent upon Department Heads signing off, seconded by Selectwoman O'Neill and **unanimously voted (5-0)**.

Budget Presentation/Town Administrator (Time 171:45-217:57 on Stoneham TV on Demand)

Town Administrator Ragucci gave the FY16 Budget Presentation. Mr. Ragucci goes over the Revenues, Estimated Local Receipts, Profit/Loss Statement for Stoneham Golf Course, Profit/Loss for Stoneham Arena, Stoneham Historical Net State Aid, Stoneham Stabilization Fund Balances, FY16 Budget Expenditures, DPW Budget Detail, 2015 Water Rate Analysis, 2015 Sewer Rate Analysis and FY16 Education Budget. Chairman Boussy states this is good and a lot better than what they have seen in the past but what they are looking for more detail to explain every number. Selectwoman O'Neill asks about the revenues from 2014 and 2015 in the Arena Budget. Selectwoman Colarusso states that she would like to see contracts and rental agreements on ice rental. Mr. Ragucci states there are rental agreements/contracts with our big customers. Chairman Boussy states the Arena makes less of a profit than the Golf Course. Mr. Ragucci discuss budget detail on Public Works Department. Mr. Ragucci states FY 16 water rates have not been set. What you are seeing here is FY15. Selectwoman O'Neill asks about the salaries paid from the water rate. Mr. Ragucci and Mr. Grover explain there is a formula that Mr. Florino uses to figure these out. Selectwoman Colarusso states that if we knew exactly where the employee's time is being spent we could accurately budget. Mr. Ragucci states he has spoken to Mr. Grover about this and is going to speak to unions about how to put this in place. Mr. Ragucci would like feedback on what they would like to see improved. Chairman Boussy states he would like to see the operating cost detailed. Selectwoman O'Neill states she would like to get this timelier next year. Mr. Ragucci states him and Mr. Florino are working to get this done.

Approve Minutes (Time 217:58-218:33 on Stoneham TV on Demand)

Selectwoman O'Neill made motion to approve minutes of April 14, 2015, seconded by Selectman Vallarelli. **Voted (3-1-0)**.
Selectman DePinto abstained.

Sign Proclamation for White Ribbon Day (Time 218:34-219:34 on Stoneham TV on Demand)

Selectman DePinto made a motion to sign the proclamation for White Ribbon Day, seconded by Selectwoman O'Neill and **unanimously voted (5-0)**.

Stockwell Fund (Time 219:34-220:18 on Stoneham TV on Demand)

Selectman DePinto made a motion for Attorney Solomon to look into request #1 for another way to pay this, seconded by Selectwoman O'Neill and **unanimously voted (5-0)**. Selectman DePinto made a motion to approve request #2, seconded by Selectwoman O'Neill and **unanimously voted (5-0)**.

April 28, 2015 (3)

Town Administrator (Time 220:35-221:46 on Stoneham TV on Demand)

Town Administrator Ragucci states the Oaks is opening this Friday the YMCA will be having their league down there. Mr. Ragucci states the Arena will be closing for maintenance. Mr. Ragucci states Eversource was here tonight regarding the transmission line. He states he was told that by May 22nd they will have a definitive route to present to the Board. Selectwoman Colarusso confirms with Mr. Ragucci that there will be a robo call on Friday to inform residents they can have a second water meter installed.

Selectman DePinto made the motion to adjourn at 10:45 p.m., seconded by Selectwoman O'Neill.

Respectfully submitted,

Erin Sinclair

Stoneham Board of Selectmen – Minutes of Meeting of May 12, 2015

Chairman Thomas Boussy called the meeting to order at 7:00 p.m. Also present were Selectwoman Caroline Colarusso, Selectman John F. DePinto, Selectwoman Ann Marie O’Neill, Selectman Frank Vallarelli, Town Administrator David Ragucci and Town Counsel William H. Solomon.

Pledge of Allegiance

Chairman Boussy explains that due to time they postponed Agenda Items #2 and #3.

Zoo New England/O’Neill (Time 1:02-13:11 on Stoneham TV on Demand)

Cynthia Mead was present to represent the Stone Zoo and talk about the programs available such as school age children free with classroom entry, Zoo programs meet STEM curriculum, Science Ed, summer camp, before/after care during summer camp, summer/holiday events. Cynthia Mead stated that there are Library passes available, community group passes and discounts available. Chairman Boussy states that they are starting pop up events in the Common and would love to see the Zoo participate. Selectwoman O’Neill thanks Cynthia Mead for coming and really appreciates her time. Selectwoman O’Neill echoes what Chairman Boussy states the more that we can cross promote the better. Selectwoman O’Neill states the Zoo is a great branding opportunity for Stoneham and would like to see better signage in Town. Cynthia Mead states she is working closely with Senator Lewis and Representative Day. They have been great. Selectman Vallarelli asks how their budget is for next year. Cynthia Mead states it was passed by the House and the Senate. She states they would like to change the number when it is in front of the Conference Committee and at that point would love the support of the Town. Chairman Boussy discusses transportation issue around the Zoo. Selectwoman Colarusso asks where there was a difference in their budget. Cynthia Mead explains that that is a complicated question. She explains their funding comes from two different sources. From one source in the operating budget the House was increased but the Senate was level funded. Cynthia Mead also states that they have updated their website and would like everyone to check it out. Cynthia Mead would like to pay the Town a compliment as a resident. She really appreciated the fact that the Town did a great job with snow removal this year and she would like to say Thank You.

Budget Discussion (Time 13:12-136:11 on Stoneham TV on Demand)

Chairman Boussy states that the Finance and Advisory Board brought in the Northborough Town Administrator and their budget is the blue print budget the Board would like to see. Chairman Boussy shows the Northborough Budget. Chairman Boussy explains the big question was on the water rates. There was a discussion on this topic. There was a discussion on Water & Sewer Enterprise Accounts. Chairman Boussy states there are too many unanswered questions to approve this budget or raise the water rates. Chairman Boussy states he feels the School Committee was a great budget. Chairman Boussy explains the frustration on how they are receiving the information they request from Department Heads. Selectwoman Colarusso understands the frustration of the School Committee and clarifies the Board of Selectmen are working towards changing the way things are done so this frustration will be eliminated. Dr. Les Olson Superintendent of School was present to answer questions from the Board of Selectmen along with Shelly Macneill and David Maurer. Chairman Boussy states the three major issues in passing this budget are the purchase of the DPW trucks, the non-hiring of Police Officers and the water rates. Selectwoman O’Neill states that they have had all department heads in for updates and none have said we have enough staffing and our budget is too big. She states they are working hard to bring in commercial business to relieve the tax payers but looking at this budget we do not know if there is a department that is really fat because they cannot tie the numbers together. She states if they could identify this then they can reallocate. She would like to see a strong capital plan. Chairman Boussy states the problems are not going to fixed overnight they are looking at more of a three year plan. The Board has a discussion on attracting young folks to the town.

Approve Block Party/Philips Road (Time 136:12-136:46 on Stoneham TV on Demand)

Selectman Vallarelli made a motion to approve the block party on Philips Road on May 30, 2015 from 1pm-9pm, seconded by Selectman DePinto and **unanimously voted (5-0)**.

Present Trevor Woodman with Certificate (Time 136:47-137:33 on Stoneham TV on Demand)

Chairman Boussy states that Trevor Woodman received his Eagle Scout Badge and was going to be here for a presentation but has a track meet and cannot be here tonight.

Call for Special Town Meeting and Set Dates for Opening and Closing of Warrant (Time 137:34-138:14 on Stoneham TV on Demand)

Selectman DePinto made a motion to call for a Special Town Meeting on June 8, 2015 at 7:00 p.m. and for the warrant to open on May 13, 2015 and close on May 20, 2015 at 4:00 p.m., seconded by Selectwoman O’Neill and **unanimously voted (5-0)**.

Liquor Licensing Authority

Selectman DePinto moved to go into Liquor Licensing Authority and return as the Board of Selectman, seconded by Selectman Vallarelli.

Voting in Favor:

Selectwoman Colarusso
Selectman DePinto
Selectwoman O’Neill
Selectman Vallarelli
Chairman Boussy

Motion was unanimously voted (5-0).

**Meeting recessed at 9:15 p.m. to go into Liquor Licensing Authority.
Meeting reconvened at 9:20 p.m.**

Appointment to Memorial Day Parade Committee (Time 143:21-143:26 on Stoneham TV on Demand)

Selectman DePinto made a motion to appoint Jay Humphreys 106 Elm Street, 1st Floor to the position on the Memorial Day Parade Committee, seconded by Selectwoman Colarusso and **unanimously voted (5-0)**.

Utility Work on Public Ways Discussion/Boussy (Time 143:26-148:23 on Stoneham TV on Demand)

Chairman Boussy goes over the areas around Town that the utility companies have done work. Chairman Boussy states that the way they are leaving the streets is unacceptable. Chairman Boussy requests a list of street opening permits over the past year. Selectman DePinto asks if they are bonded and can we go after them that way. Attorney Solomon states he can look into it. Mr. Ragucci states he will get a list of street opening permits over the past few years.

Signage Discussion/Boussy (Time 148:28-159:46 on Stoneham TV on Demand)

Chairman Boussy goes over the signs around Town that need to be removed or replaced. Chairman Boussy states this is unacceptable. Selectman Vallarelli suggests putting together a master list of signs. Selectwoman Colarusso suggests having the Recycling Coordinator start developing this list since he is out and around every day monitoring trash.

Beautification Discussion/O'Neill (Time 159:46-180:26 on Stoneham TV on Demand)

Selectwoman O'Neill states that it is spring and we need to look at spring cleaning. She states that they need to focus on getting the island in tip top shape. Selectwoman O'Neill shows an example of an island that has a sprinkler system and states if she goes around to other towns their islands have not changed. She states that here there is garbage in the islands. There has been no cleanup. She states that she has talked to Dave about the front of town hall flower beds. She states that all surrounding towns have sprinkler systems and she feels that would be an investment for the town. Selectwoman O'Neill would like to Board to consider using some of the Fallon Road Mitigation money to install sprinkler systems in our highly visible islands. We need to show that we are community that cares about ourselves. Chairman Boussy asks if the money for beautification should be moved from Selectmen to the Town Planner budget. Selectwoman O'Neill states yes absolutely. Selectwoman O'Neill states the island beautification needs to find a home it should not be done by the Selectmen. Selectwoman Colarusso states we have made some clear initiatives here with the TIF program and other areas. Selectwoman O'Neill talks about the sidewalks around town area all asphalts not granite and concrete. Mr. Ragucci states that the sprinklers, sidewalk replacements etc., can all come out of the mitigation money. Selectwoman Colarusso asked what the mitigation money can be used for. Mer. Ragucci states any cost associated with the construction, operations or any capital items purchase that pertain to the project. Chairman Boussy would like to notify everyone that there is an Eversouce Open House on May 18th from 5-7pm and he strongly encourages residents to attend with input on this project along with what they would like to see for mitigation. The Board would like to see underground lighting and sidewalks for mitigation. Chairman Boussy wants to be clear is there is no good route. They do not want it. Selectwoman O'Neill states they would rather Eversource go around us. Chairman Boussy states this project is being shoved down our throats.

Approve Minutes (Time 180:26-180:40 on Stoneham TV on Demand)

Selectman DePinto made motion to approve minutes of May 4, 2015, seconded by Selectwoman O'Neill and **voted (3-1-0)**. Selectman Vallarelli abstained.

Town Administrator (Time 180:40-186:51 on Stoneham TV on Demand)

Town Administrator Ragucci states the FAB meeting on the budget went well last night. Mr. Ragucci states he is working with the Veterans Agent to setup a transportation program through Stockwell. Mr. Ragucci informs the Board that they are going to have to fix the town wide phone system which could cost up to \$85,000.00 to change the brains of the system. Mr. Ragucci suggests using Fallon Road mitigation money to do this update. Mr. Ragucci informs the Board that open check book which was funded for the first year through a grant is looking for \$9,000.00 to continue to allow us to use the program. He states that Tom Ciatelli is working on a similar program and should know soon if that will be able to replace open checkbook at no charge.

Miscellaneous (Time 186:51-191:30 on Stoneham TV on Demand)

Selectwoman Colarusso will be introducing a customer service initiative soon so that residents can give their feedback on the services they receive from Town Departments. Dolly Wilson member of the Bikeway Committee states the cleanup of the Bikepath that happened on May 2nd was a success and the area from Main to Montvale is now cleaned up. She would like to thank Selectwoman Colarusso and the members of the DPW Bill, John and Brian who were a tremendous help that day.

Selectman DePinto made the motion to adjourn at 10:20 p.m., seconded by Selectwoman O'Neill.

Respectfully submitted,
Erin Sinclair

Stoneham Board of Selectmen – Minutes of Meeting of May 21, 2015

Chairman Thomas Boussy called the meeting to order at 3:32 p.m. Also present were Selectman John F. DePinto and Selectwoman Ann Marie O’Neill. Selectwoman Caroline Colarusso and Selectman Frank Vallarelli were not present.

Pledge of Allegiance

Accept and Number Warrant Articles

Selectman DePinto made a motion to accept the warrant articles and number budget article #1, BOH article #2, seconded by Selectwoman O’Neill and **unanimously voted (3-0)**.

Sign Special Town Meeting Warrant

Selectman DePinto made a motion to sign the warrant, seconded by Selectwoman O’Neill and **unanimously voted (3-0)**.

Stockwell

Selectwoman O’Neill made a motion to approve 3 Stockwell request, seconded by Selectman DePinto and **unanimously voted (3-0)**.

Approve Block Party/Middle Street

Selectman DePinto made a motion to approve the block party request on Middle Street, Saturday, May 24, 2015, seconded by Selectwoman O’Neill and **unanimously voted (3-0)**.

Selectman DePinto made the motion to adjourn at 3:35 p.m.

Respectfully submitted,

Erin Sinclair

Stoneham Board of Selectmen – Minutes of Meeting of May 26, 2015

Chairman Thomas Boussy called the meeting to order at 7:02 p.m. Also present were Selectwoman Caroline Colarusso, Selectman John F. DePinto, Selectwoman Ann Marie O’Neill, Selectman Frank Vallarelli, Town Administrator David Ragucci and Town Counsel William H. Solomon.

Pledge of Allegiance

Present Heritage Award/Historical Commission (Time :37-7:00 on Stoneham TV on Demand)

Good Evening Mr. Chairman, Board of Selectmen and women, audience members in this room and at home. My name is Margaret Warren. I am the Co-Chair, with Marcia Wengen, of the Historical Commission. Our mission is to protect, preserve and develop the historical assets of Stoneham. You appoint seven of us to staggered three year terms. Other members of the Historical Commission in attendance tonight are Steve Rotondi and associate member Dolly Wilson. I am pleased to appear before you this evening to present our annual Heritage Award. This award has been given since 1992 for “exceptional contributions to preservation and awareness of Stoneham’s historical legacy” to a local citizen, organization or business. Before I announce the recipient, let me turn the clock back 77 years to 1938. In the four month period between July and October, the Town voted to build an elementary school for \$92,000, established a building committee, applied for and received a \$41,400 grant from the federal Public Works Administration, part of Franklin Roosevelt’s New Deal, purchased land, secured bids and awarded the contract. It actually took longer to build the school than to secure this 45% match. North School opened in the fall of 1939 and educated Stoneham children and employed many local residents until 1990. Over the next 20 years it was sometimes vacant, re-opened once to alleviate classroom shortages and was leased for other educational purposes. In August of 2011 students left the building for the last time. Of particular note are the architects and developers. While the architectural firm of Kilham, Hopkins and Greeley is not a household name, locally they designed town halls in Waltham, Westborough, and Tewksbury as well as the Winchester Public Library. John Volpe, founder of Grande & Volpe, is perhaps best remembered for twice being elected Governor of Massachusetts and for his federal service under presidents Eisenhower and Nixon, as Federal Highway Administrator, United States Secretary of Transportation and Ambassador to Rome. May is National Preservation month, a time when we celebrate those who protect and enhance the places that make our communities special. This year, the Historical Commission is pleased to honor local resident and developer **Michael Collins** for his adaptive reuse of North School as eleven condominiums. Michael’s vision for the school included adapting the so-called ‘playroom’, what we would call today the ‘gymnasium,’ into four of the eleven units. He worked closely with the Commission and a mason specializing in historic brickwork to arrange new windows that look like they had always been there. It is interesting to note that as the demolition of the classrooms was finished, Michael told us that the building was as straight, true and solid as the day it was built with New Deal money. This rehabilitation project was a win-win for all the parties. Michael worked with the local advocates led by Mark Drew to retain the look and feel of the Collincote Street neighborhood with the addition of three single family homes. The town benefited from four properties, assessed in excess of \$2.8 million, being added to the tax roles. The Historical Commission has long advocated for the rehabilitation of buildings that may have out lived their original purpose but not their usefulness. Our strategy has been reaffirmed with the adaptive reuse of North School. The Historical Commission thanks you, Michael Collins, for your vision and willingness to work with us and the Collincote Street neighbors to adapt this piece of Stoneham’s history and cultural heritage for future generations. Well done!

Site Plan Hearing/16 Main Street/Attorney Cicatelli (Time 7:01-33:17 on Stoneham TV on Demand)

Selectman DePinto read the Notice of Hearing. Attorney Steven Cicatelli was present to represent WALLAROO LLC to construct an new commercial building on the property located at 16 Main Street, Stoneham, MA on land owned by WALLAROO LLC c/o Brickpoint Properties, Inc., 2 Main Street, Stoneham, MA 02180. Selectmen DePinto read Department Recommendations from January 14, 2014 and May 19, 2015 – Attorney Steven Cicatelli agrees with all DPW Engineering, Police Department, Board of Health, Fire Department and Inspectional Services. Chairman Boussy opened the hearing to the public. Marcia Wengen Washington Street asked if this construction would impact the work scheduled to be done at the North & Main. Attorney Cicatelli stated this project will be started prior to that and has no impact. Chairman Boussy closes the public hearing. Chairman Boussy asks if the property owner would be responsible for the sidewalk shoveling. Attorney Cicatelli stated that if it was a Bylaw they would comply but where it is not it could possibly be a liability. Selectman DePinto made motion to approve site plan with two years allowed for completion, seconded by Selectman Vallarelli. A roll call vote was taken.

Voting in Favor:

Selectwoman Colarusso
Selectman DePinto
Selectwoman O’Neill
Selectman Vallarelli
Chairman Boussy

Motion was unanimously voted (5-0).

Public Hearing/Grant of Location/Melba Lane & Valdora Drive/National Grid (Time 33:40-36:29 on Stoneham TV on Demand)

There was no representative present from National Grid. There was no Grant of Location issued. Resident from 23 Melba Lane came to ask questions to National Grid on what their plan is.

MWRA Pipeline Discussion & Water Rate (Time 36:38-80:20 on Stoneham TV on Demand)

MWRA Executive Director Fred Laskey along with MWRA Advisory Board Executive Director Joe Favaloro were present to discuss the financial situation of the town due to the closing of the Atlantic Gelatin and some proposed MWRA projects in Stoneham. Mr. Laskey spoke on the MWRA billing process. Mr. Favaloro states the MWRA they have looked outside the box to help Stoneham from a wholesale perspective. They are proposing to extend one year on the 10 year interest free water loan program and extend one year on the 5 year interest free waste water program. This would result in about \$386,000.00 relief in FY16. Mr. Favaloro states he hopes with will help fill some of the impact from the Gelatin closing. The Board thanks the MWRA for this offer. Chairman Boussy states this Board is not in support of a water/sewer rate increase but they may have no choice. Selectman DePinto made a motion to accept the offer from the MWRA, seconded by Selectman Vallarelli and **unanimously voted (5-0)**. Mr. Laskey informs that Board that there will be a sewer project

starting to repair sewer lines. MWRA Project Engineer Pat Barrett gave the Board information on the new sewer project. Mr. Barrett states they will be going in through manholes to do these repairs. The projected start date is January 2017. Mr. Laskey states they will be back with more information on this project. Anthony Wilson 181 Central Street would like MWRA to clarify whether there is digging and if there are other spots. Mr. Barrett shows Mr. Wilson where there is going to be digging. Mr. Wilson asks if this project anywhere on the ROW. Mr. Laskey believes no it is not he thinks it runs parallel. Mr. Laskey states he will confirm this. Mr. Barrett discuss the water project that is going to be going through town which is due to start in September 2015 with completion in 2017.

Budget Presentation FY16 (Time 81:10-128:50 on Stoneham TV on Demand)

Town Administrator Ragucci states there was one change \$20,000.00 was moved from the Selectmen's budget to the Town Planner's budget. Mr. Ragucci informs the Board of the changes that are being made to the format of the budget. Steve Dapkiewicz Chairman of the FAB states the subcommittee meet today and they are using Reading as a guideline. Mr. Dapkiewicz states they realized that Stoneham is not reporting in a way to pull the information from Munis like they would like. He states they are working on a plan to move that forward. There was a discussion on where the water and sewer enterprise money is spent on salaries. John DeAmicis, 85 Fellsvie Road former member of the FAB spoke. Chairman Boussy states it is great seeing this move forward. There was a discussion on the water and sewer rates and usage. Selectwoman Colarusso states she is not in favor of a water rate increase. The Board discussed making sure the water and sewer enterprise funds are being used correctly moving forward. Frank Pignone 2 Gigante Drive spoke.

Bench Donation from Jordan Family (Time 128:52-130:18 on Stoneham TV on Demand)

Selectman DePinto made a motion to accept the gift, seconded by Selectwoman O'Neill **and unanimously voted (5-0)**. Chairman Boussy requested that the open space in the Common be left open for events and the Farmers Market.

Liquor Licensing Authority

Selectman DePinto moved to go into Liquor Licensing Authority and return as the Board of Selectman, seconded by Selectman Vallarelli.

Voting in Favor:

Selectwoman Colarusso
Selectman DePinto
Selectwoman O'Neill
Selectman Vallarelli
Chairman Boussy

Motion was unanimously voted (5-0).

Meeting recessed at 9:18 p.m. to go into Liquor Licensing Authority.

Meeting reconvened at 9:23 p.m.

Approve Minutes (Time 135:40-139:08 on Stoneham TV on Demand)

Selectman O'Neill made motion to approve minutes of 4/28/15 & 5/12/15 at the next meeting due to requests of changes made by Selectman Vallarelli, Selectwoman O'Neill and Chairman Boussy, seconded by Selectwoman Colarusso and **unanimously voted (5-0)**. Selectman DePinto made a motion to approve minutes of 5/19/15, seconded by Selectwoman O'Neill and **voted (4-0-1)**. Chairman Boussy abstained.

Approve Secondhand Dealer License/305 Main Street/Gold Refinery/Arthur Mikavelvan (Time 139:09-142:20 on Stoneham TV on Demand)

Selectwoman O'Neill made a motion to approve the Secondhand Dealer License to Gold Refinery, 305 Main Street, seconded by Selectman DePinto **unanimously voted (5-0)**.

Appointment to Board of Appeals (Time 142:35-142:53 on Stoneham TV on Demand)

Selectman DePinto made a motion to reappoint Eric Rubin, 5 Sullivan Circle as an associate member on the Board of Appeals until April 30, 2016, seconded by Selectman Vallarelli and **unanimously voted (5-0)**.

By Law Enforcement/Boussy (Time 143:03-157:34 on Stoneham TV on Demand)

Chairman Boussy states the main complaint is people are using their properties as junk yards and the neighbors are tired of seeing it. Two of the property complaints are Franklin Street and Waverly Street. Marylou Bracciotti 36 Broadway spoke regarding the properties. Mr. Ragucci states every time there is a complain Building, Board of Health, Police and Fire are notified. He states it is very difficult if there is not a public safety nuisance on the property for them to go their property. Selectwoman Colarusso states she, Ann Marie and Dave met with the Building Inspector two weeks ago and discussed these properties that have been reported and she states there has been enforcement but not to the level of enforcement we need to fix the problem. Selectwoman Colarusso states they are working on an Assistant for the Building Inspector to help her with these types of issues. Selectwoman Colarusso states the Town Planner is looking at State and Federal Programs that may be able to assist homeowners improve their properties. Selectwoman O'Neill states that when there are complaints John has gone to look at the properties and comes back saying it is ugly but there is no violation. The Board agrees that a summer project should be looking at the bylaws to strengthen them a little bit. Chairman Boussy asks Dave to look into why the lights on one of the islands are out. Town Administrator Ragucci states the Recycling Coordinator is out looking at signs and notifying us what needs to be replaced or repaired along with potholes.

Eversource Discussion/DePinto (Time 157:35-188:01 on Stoneham TV on Demand)

The Board had a discussion on what the process was with choosing the route on the transmission line installation between the Sub Committee and Eversource. Chairman Boussy read a letter that was drafted to send to Eversouce from the Board of Selectmen. There has been no route finalized. There was a discussion amongst the Board on what this project consists of and how unacceptable it is that

Eversouce wants to go through Stoneham. Selectwoman O'Neill suggests going to the State for relief. State Representative Michael Day 49 Perkins Street states that back in November/December when he was State Rep he sent a letter along with everyone in the impacted communities stating that these towns did not want this line requesting that they go down the sea link which would stay off the main streets. He states that it is ISO New England who makes the determination. Selectwoman O'Neill states she does not understand why we do not have a bigger say in what happens in our community. Selectman DePinto made a motion to send the letter, seconded by Selectwoman Colarusso and **unanimously voted (5-0)**.

Article Recommendations for Special Town Meeting (Time 188:02-192:37 on Stoneham TV on Demand)

Selectman DePinto made a motion for favorable recommendation on Article #1, seconded by Selectwoman O'Neill and **unanimously voted (5-0)**. Article #2 – No Recommendation.

Weiss Farm Bill/Colarusso (Time 192:38-217:33 on Stoneham TV on Demand)

Chairman Boussy states that it has come to his attention that it could be perceived that somehow there could be financial gain to him based on his location to Weiss Farm. He states he does not believe this to be true but until he can rectify the situation he must step out of the room. Chairman Boussy recused himself from the discussion and left the room. Chairman Boussy passes the gavel to Vice Chairwoman O'Neill. Selectwoman Colarusso she would like to present some proposed amendments to the 40B law that we have in Massachusetts. She stated that the following amendments she is making are separate from any action taking place at Weiss Farm or any land swap. Selectwoman Colarusso asked her fellow Board members to request that the state legislators file the following bills on the behalf of Stoneham and every other community that has had troubles due to Chapter 40B laws. Selectwoman Colarusso proceeded to read the bills. Selectman Vallarelli gave his opinion that many people have tried to change the 40B law many times over the years and it never makes it out of the committee into legislature. Selectwoman O'Neill agrees with Selectwoman Colarusso that we do not have a plan in place and we really need to do that. Vice Chairwoman O'Neill opens the discussion to the public. State Representative Michael Day spoke on the current amendments that are in committee. Vice Chairwoman O'Neill asks the Town Administrator if Erin Wortman the Town Planner is working on a housing plan. Mr. Ragucci states that she is not actively working on a plan. Ellen McBride 30 Butler Ave spoke.

Chairman Boussy reenters the room.

Town Survey/Colarusso (Time 218:01-225: 38 on Stoneham TV on Demand)

Selectwoman Colarusso states they have been speaking about improving customer service. Selectwoman Colarusso presented a survey with some sample questions to the Board. Selectwoman Colarusso stated she spoke with Tom in IT to see if we can get something like this up and running he seems to think that we can. Selectwoman Colarusso would like feedback from the Board. Selectwoman O'Neill thinks it is a great idea. Dolly Wilson 181 Central Street spoke. Anthony Wilson 181 Central Street spoke. Selectwoman Colarusso stated she would like to get the questions down to five. Selectmen Vallarelli asked how much does this cost. Selectwoman Colarusso stated Tom in IT stated this should be relatively inexpensive. The Board agreed to move forward to gather the questions and refer to Tom in IT.

Town Administrator (Time 225:39-227:31 on Stoneham TV on Demand)

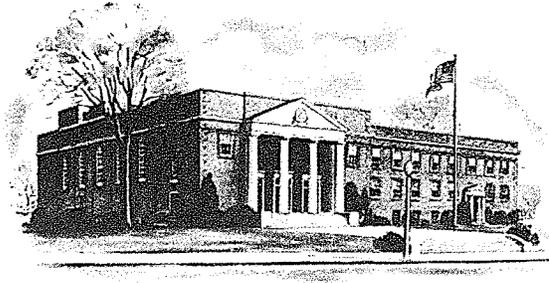
Town Administrator Ragucci has two items. One is the Bikepath and that he received notice the MEPA process has been completed by the State and we can start negotiations with those we need an easement from. There will be a meeting with the State on June 15th in Winchester to go through the process so we are board on how we have to go forward in getting the easement from the 5 or 6 abutters along the Bikepath. The second topic is the Open Space has been meeting and they have a rough draft of a golf RFP that they will be putting out a rough draft hopefully by the end of the June with a contract starting in January of 2016.

Miscellaneous (Time 227:32- on Stoneham TV on Demand)

Chairman Boussy would like to bring up the islands and the sign on North Main Street. He asks if there is plan to have that sign beautified before Northshore Magazine comes to do the article. Mr. Ragucci states yes he make sure it gets done. Chairman Boussy states they are behind the 8 ball on the islands and time is of the essence we need to get this done. Selectman DePinto asks Attorney Solomon about the cable checks and Attorney Solomon states they are on track. Selectwoman O'Neill would like to let everyone know that Representative Day and Senator Lewis secured \$50,000.00 for the Stoneham Drug and Alcohol Coalition that will afford us the opportunity to hire a resource and have a little bit of funding left over which is huge for the Stoneham Drug and Alcohol Coalition. Selectwoman O'Neill would like to thank everyone who was involved. Selectwoman O'Neill would also like to say that Cynthia Mead was at the last meeting and since she left there was an article in the Globe that stated the funding is in jeopardy. Selectwoman O'Neill would like to send a letter of support from the community. Representative Day spoke on the zoo funding and sending letters of support to the Governor and Secretary Ash. Representative Day will provide samples of the letter tomorrow. Selectman DePinto made a motion for the Chairman to sign the letter, seconded by Selectman Vallarelli and **unanimously voted (5-0)**. There will be a sample on the website, Facebook and TV for the residents to send their support letters.

Selectman Vallarelli made the motion to adjourn at 11:02 p.m., seconded by Selectman DePinto.

Respectfully submitted,
Erin Sinclair



TOWN OF
STONEHAM
MASSACHUSETTS

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ewortman@stoneham-ma.gov

ERIN WORTMAN

TOWN PLANNER

June 1, 2015

To: Stoneham Board of Selectmen

CC: David Ragucci, Town Administrator

From: Erin Wortman, Town Planner

Subject: Stoneham Commercial Improvement Program: Oro Salon & Spa Request

The Town Planner Department would appreciate a review of the attached request from Oro Salon & Spa at 8 Franklin Street. The Stoneham Commercial Improvement Program provides a matching grant for the funding of well-designed improvement that will coordinate all the important features of a storefront into a more attractive and cohesive image. Per the guidelines, funding is available up to \$3,000 per business with all grants requiring a minimum 50% match from the applicant of the total project cost. Oro Salon & Spa is located in the designated target area and qualify for funding through the program.

If you have any questions, please feel free to call me at 781.507.2445 or email me at EWortman@stoneham-ma.gov

May 29, 2015

To: Board of Selectman

From: Leida Capone, Owner
Oro Salon & Spa
8 Franklin Street
Stoneham, Ma 02180
781.435.0680

To Whom It May Concern,

I am writing this letter on behalf of my business Oro Salon & Spa located on Franklin Street. I am currently in the process of making some needed updates to the exterior of the salon. I am aware that the town is willing to reimburse for 50% of incurred costs through the improvement program offered, however, I am requesting additional reimbursement above the 50% to help with the incurred costs.

Recent quote for exterior painting was \$1900 (which includes all materials and labor). Store front signage was \$2500 (black sign gold letters, plus cost of building permit). I have spoken with my landlord and he is unwilling to help financially. Unfortunately, I do not have the funds to complete both projects (painting and sign). The painting is a must given the winter elements this year but the sign is equally important to continue to help drive business. I am requesting additional financial support from the town at this time.

It has been a privilege to be able to own my business in Stoneham. The support I have received from the town with regard to my business these past years has been amazing. Myself and my business are proud to be a part of the Stoneham community and look forward to our future together. I do hope you will consider my request. Thank you for your time and look forward to hearing from you on this matter.

Sincerely,



Leida Capone, Owner
781.435.0680 (w)
781.929.5828 (c)

Stockwell Approval Requests

- (1) Request for payments to multiple hospitals/doctors in the amount of \$145.67.

Background: Has requested Stockwell help prior and has been approved.

- (2) Request for payment for hearing aids in the amount of \$2,800.00

Background: Has never requested help from Stockwell but the hearing aid request has been approved for other residents.

- (3) Request for payment to doctor's office in the amount of \$347.28.

Background: Referred to by the SHINE Program. Has never applied to Stockwell but looks like they would qualify under the guidelines.

- (4) Request for payment to various doctors & hospitals in the amount of \$400.95.

Background: Has requested Stockwell help prior and has been approved.